

North Providence Schools Facility Study



Stage I

January 16, 2014



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Executive Summary

Stage I

Introduction:

We wish to thank Melinda Smith, Superintendent of Schools; John McNamee, Director of Finance; Jim Fuoroli, Director of Public Buildings, and all of the schools' principals for the marvelous cooperation extended to us in the preparation of this report.

Our office has been contracted to prepare Stage I and Stage II per RIDESchool Construction Regulations. As directed by the Building Committee, we have focused on the effects the facility has on the quality of the students' learning environment.

The objective of the study is to evaluate the North Providence School facilities as they relate to their ability to deliver the current and planned educational program, provide flexible avenues for future teaching methods and analyze the facilities building and plant condition for conformance with the standards set by Rhode Island Department of Education (RIDE).

On-site surveys of the school building were conducted by our assessment team, which included architects, mechanical, electrical, civil and structural engineers. All aspects of the building were studied, including but not limited to: the size and number of spaces, compliance with fire and building codes, accessibility for the handicap, evaluation of mechanical, electrical, plumbing, structural systems, interior finishes, exterior envelope (windows, doors, roof, exterior materials) and the incorporation of the report of materials containing asbestos.

We note that the School Department has recently taken specific steps to update the elementary schools' fire doors and fire alarm systems.

NESDEC submitted enrollment projection on January 9, 2014. They projected an enrollment increase of 492 students in the next 10 years.

The reader of this report will immediately note that we believe a number of schools are no longer adequate. Two were designed for purposes other than their current use. Others, when constructed, met the standards of the day, but they do not comply with recent standards of educational facilities. We have encountered the same problems in numerous school departments with aging buildings, shifting enrollments and limited funding.

We ask that the reader not generalize any comments as a criticism of the teaching and learning taking place. Comments about the adequacy of spaces are sometimes negative; the purpose is to highlight the space deficiency, and not what is taking place within those spaces. In our visits to the schools we have seen many indications of a positive learning environment, even under what are sometimes difficult circumstances.

Tel/Data Deficiencies

- There is no centrally located server room/building for the data systems.
- With the exception of the high school, none of the data rooms are connected to back-up power (i.e., UPS, emergency generator).
- None of the tele/data rooms are climate controlled.
- There is no consistency in the types/methods of installation. There appear to be a mixture of manufacturers. The older installations are unreliable.
- There is no consistency in the installation of Wi-Fi devices in the schools.
- Tele/data conductors are attached exposed to walls. Receptacles are not properly secured. There is no consistency in the number installed within classrooms and offices.
- There are no fiber optic lines between schools and data closets.

Elementary Schools

General Observations

- Most of the elementary schools in the Town of North Providence are overcrowded to such a point that it is impacting both the comfort of the occupants and the delivery of the curriculum.
- The formula required to establish school capacities does not fully reflect the overall facilities' actual capacity. The original buildings' designs did not include spaces currently required for associated school needs such as a social worker, psychologist, OT/PT, reading, ELL, special education and adequate clinics.
- A more appropriate analysis is the square foot per student allocated by RIDE. Most of the elementary schools have one half of the square foot per student required. The current elementary school buildings would need to be increase by 65% to 100% to conform to the school regulations.
- There is a lack of adequate space and infrastructure to implement STEM (science, technology, engineering and mathematics).
- The overcrowding is evident in spaces originally designed as storage rooms being used as offices and small teaching spaces.
- Most of the elementary schools do not have a dedicated art room, music or computer room.
- All of the gyms are also used as the cafeterias. Most of the kitchens are makeshift located in the general open space. They do not meet some of the requirements of the Rhode Island Department of Health.

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- All but one of the clinics (nurses office) do not comply with RIDE or the Rhode Island Health Department. They do not have separate and appropriate waiting areas, office, treatment areas, rest areas or restrooms; they are substantially undersized.
- All of the elementary schools have deficiencies in ADA compliance. The level of work required for compliance varies from school to school, ranging from difficult to nearly impossible.
- Compliance with building and fire codes also vary. The most difficult buildings are the original 1930's schools. Fire code variances have been given due to structural hardship for student spaces not on level discharge.
- Many facility materials need replacement. Floors (a large portion of which have asbestos containing material), ceiling, wall finishes, toilet partitions, doors, counters and roofs, particularly, are past their useful performance life.
- Site circulation and condition of pavement is a concern for most schools, particularly in regards to the parents' drop off procedure.
- There is a lack of general school storage and classroom storage.
- Open student cubbies do not provide adequate storage; they contribute to the possible spread of head lice
- All of the elementary schools are 1930's buildings with 1950's additions and 1960's buildings. They have given the North Providence community their money's worth, but now require substantial work.

The following is a summary of the mechanical, electrical and plumbing issues.

Mechanical Deficiencies

Greystone Elementary School:

- Lack of ventilation in offices and corridors
- No cooling
- No central building management system, stand alone pneumatic/electronic controls
- Unit Ventilators and associated exhaust fans 45 years old, exceeded useful life expectancy

Centerdale Elementary School:

- Lack of ventilation in offices and corridors
- Lack of ventilation in the Gym
- No cooling
- No central building management system, stand alone pneumatic/electronic controls
- Unit Ventilators and associated exhaust fans 50 years old, exceeded useful life expectancy

McGuire Elementary School:

- Lack of ventilation in offices and corridors
- Lack of ventilation in the Gym
- Lack of ventilation in the Classrooms
- No cooling
- No central building management system, stand alone electronic controls
- Heaters and associated exhaust fans 50 years old, exceeded useful life expectancy.
- Steam system operates at temperatures that can burn...no protection.

Marieville Elementary School:

- Lack of ventilation in offices and corridors
- Lack of ventilation in the Classrooms
- No cooling
- No central building management system, stand alone electronic controls
- Heaters and associated exhaust fans 50 years old, exceeded useful life expectancy.
- Steam system operates at temperatures that can burn...no protection.

Whelan Elementary School:

- Lack of ventilation in offices and corridors
- Lack of ventilation in the Classrooms
- No cooling
- No central building management system, stand alone electronic controls
- Heaters and associated exhaust fans 50 years old, exceeded useful life expectancy.
- Steam system operates at temperatures that can burn...no protection.

Olney Elementary School:

- Lack of ventilation in offices and corridors
- Lack of ventilation in the Classrooms
- Lack of ventilation in the Gym
- No cooling
- No central building management system, stand alone electronic controls
- Heaters and associated exhaust fans 50 years old, exceeded useful life expectancy.
- Steam system operates at temperatures that can burn...no protection.
- Steam Boiler has exceeded life expectancy.

Plumbing Deficiencies

- In general the majority of the Plumbing Fixtures in the Elementary Schools have reached their useful life and are in need of repair/replacement.
- In general the majority of the Plumbing Fixtures in the Elementary Schools are not low consumption and do not comply with the water conservation requirements.

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- In general the majority of the waste-water piping in the Elementary Schools are original to the building – we would anticipate continued issues with leaks, clogging, deterioration of valves etc. requiring repair/replacement.
- McGuire, Centerdale, Marienville, Whelan, Onley Schools lack backflow preventer's on the domestic water services. In addition, many of the domestic water meters are oversized and should be reduced prior to installation of new backflow preventers.
- In general the majority of the Elementary Schools toilet rooms do not have floor drains & hose bibs which are industry standards to insure a means for proper cleaning and maintenance.

Electrical Deficiencies:

- The electrical systems for all the schools have reached the end of their useful and reliable life. All systems are 200 amp to 400 amp, 120/240 volt single phase and will be inadequate for any additional electrical requirements. Access to electrical panels does not conform the National Electrical Code requirements.
- The lighting fixtures throughout all the schools are in excess of ten (10) years old and need to be replaced with new high efficiency fixtures with high efficiency lamps and ballasts. Lighting levels throughout needs to be raised to IES lighting recommendations for elementary schools.
- Exit signs and emergency lighting have reached the end of their useful and reliable life. They need to be replaced with new, efficient fixtures and installed per current life safety code. It should be noted that the classrooms observed had neither emergency lighting nor fire alarm horn/strobe devices.
- The public address (P/A) systems in all the schools have reached the end of their useful life and reliability. Replacement parts are not available.
- No CCTV in the schools.
- Site and building lighting in adequate.

Middle Schools

General Observations

- The current middle schools are housed in original elementary schools which were added on to and renovated.
- Although the schools function as middle schools, the building design is not adequate for a middle school curriculum.
- The classroom wings are not designed in “teams” or “houses” where the overall student population is broken down into small “communities” ideally attuned to the developmental needs of early adolescents. Circulation to core school spaces takes place through adjacent

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classroom corridors which is contrary to an important principle of middle school building design.

- The two middle school buildings arrangement makes it difficult for consistent implementation of curriculum, to conduct grade level professional development between the two schools and ensure equitable access to resources for all middle school students.
- There is a lack of adequate space and infrastructure to implement STEM (science, technology, engineering and mathematics).
- The physical plan of the two middle schools is in good condition with a few exceptions.
- The original building's roof is past its useful performance life.
- The gym and cafeteria have acoustical issues (too noisy).

High School

General Observations

- The High School facility is adequately delivering the educational program.
- There is a lack of adequate space and infrastructure to implement STEM (science, technology, engineering and mathematics).
- There are a few issues that require addressing.
- The original building's roof is past its useful performance life.
- Soccer, football and lacrosse are all played on the same school field. Adequate maintenance of field condition is very difficult.
- Site circulation at the beginning and end of the school day is very difficult.
- Rooftop units and the actuators for VAV require replacement.

NORTH PROVIDENCE SCHOOLS

CAPACITY SUMMARY SHEET

	TORRADO ARCHITECTS ASSESSMENT				RI DEPARTMENT OF EDUCATION ASSESSMENT		
SCHOOL NAME	BUILT	SQ. FT.	ENROLLMENT	CAPACITY	SQ. FT.	ENROLLMENT	CAPACITY
CENTERDALE ELEMENTARY SCHOOL	1962	25,565	292	294	25,333	245	375
GREYSTONE ELEMENTARY SCHOOL	1966	30,835	342	332	31,455	276	375
JAMES L MCGUIRE ELEMENTARY SCHOOL	1900	27,010	278	286	25,008	257	250
DR. JOSEPH A. WHELAN SCHOOL	1959	21,440	257	257	22,886	209	350
MARIEVILLE ELEMENTARY SCHOOL	1900	28,575	248	268	28,210	253	300
STEPHEN OLNEY ELEMENTARY SCHOOL	1952	24,760	287	285	28,831	296	350
DR. EDWARD A RICCI MIDDLE SCHOOL	1966	63,649	399	549	43,186	340	658
BIRCHWOOD MIDDLE SCHOOL	1966	61,383	364	464	28,718	390	574
NORTH PROVIDENCE HIGH SCHOOL	1935	279,540	971	1,700	209,387	1,008	1,615
TOTAL			3438	4141			

NORTH PROVIDENCE SCHOOLS

CAPACITY SUMMARY SHEET

TORRADO ARCHITECTS ASSESSMENT						
SCHOOL NAME	BUILT	SQ. FT.	ENROLLMENT	CAPACITY	RIDE STANDARD SQ. FT. PER STUDENT	CURRENT SQ.FT. PER STUDENT
CENTERDALE ELEMENTARY SCHOOL	1962	25,565	245	294	163	87
GREYSTONE ELEMENTARY SCHOOL	1966	30,835	276	332	163	92
JAMES L MCGUIRE ELEMENTARY SCHOOL	1900	27,010	257	286	163	94
DR. JOSEPH A. WHELAN SCHOOL	1959	21,440	209	257	163	83
MARIEVILLE ELEMENTARY SCHOOL	1900	28,575	253	268	163	106
STEPHEN OLNEY ELEMENTARY SCHOOL	1952	24,760	296	285	163	87
DR. EDWARD A RICCI MIDDLE SCHOOL	1966	63,649	340	613	190	104
BIRCHWOOD MIDDLE SCHOOL	1966	61,383	390	571	190	108
NORTH PROVIDENCE HIGH SCHOOL	1935	279,540	1008	1,700	185	164
TOTAL			3274	4312		

NORTH PROVIDENCE SCHOOL DEPARTMENT
ENROLLMENT 2013-2014 - Rev. 1/03/2014

ELEMENTARY SCHOOLS																																			
Pre-School							Kindergarten				Grade 1				Grade 2				Grade 3				Grade 4				Grade 5				Totals				
	PKSC AM	PKSC PM	1-AM	1-PM	2-AM	2-PM	Total	K- SC	K-1	K-2	Total	1- SC	1-1	1-2	Total	2- SC	2-1	2-2	2-3	Total	3- SC	3-1	3-2	Total	4- SC	4-1	4-2	Total	5- SC	5-1	5-2	Total			
CENTREDALE																																			
Regular				8	8		0	16		17	19	36		21	21	42		19	18		37		19	20	39		17	19	36		22	20	42	248	
Resource								0		3	1	4		1	1	2		2	3		5		4	1	5			3	6		4	6	10	32	
Self Contained				6	6		0	12				0				0					0				0				0				0	12	
TOTAL	0	0	14	14	0	0	28	0	20	20	40	0	22	22	44	0	21	21	0	42	0	23	21	44	0	20	22	42	0	26	26	52	292		
GREYSTONE																																			
Regular				8	6	8	7	29		21	20	41		21	18	39		14	16	14	44		21	21	42		20	19	39		26	25	51	285	
Resource								0		1	1			1	4	5		2	2	1	5		2	1	3			2	2	4		1	2	3	21
Self Contained (pk only)	4	6	6	7	7	6	36				0					0				0				0					0				0	36	
TOTAL	4	6	14	13	15	13	65	0	21	21	42	0	22	22	44	0	16	18	15	49	0	23	22	45	0	22	21	43	0	27	27	54	342		
MARIEVILLE																																			
Regular										21	18	39		19	17	36		12	17		29		16	20	36		16	21	37		20	21	41	218	
Resource			n/a							1	1			3	3			5	0		5		3	0	3			6			4		4	22	
PIAS (Prim.Int.Acad.Sppt.)									3		3		1			1	4			4				0					0				0	8	
TOTAL	0	0	0	0	0	0	0	3	21	19	43	1	19	21	40	4	17	17	0	38	0	19	20	39	0	22	21	43	0	24	21	45	248		
MCGUIRE																																			
Regular										16	16	32		18	12	30		20	22		42		15	13	28		17	19	36		15	13	28	196	
Resource										8	0	8		3		3			2		2			6				5			4	1	5	29	
ELL			n/a							7	7			10	10			6		6		5		5			10		10			3	3	41	
IIAS (Intrm.Intens.Ac.Sppt)												0				0	1			1	5		5		4				4		2		2	12	
TOTAL	0	0	0	0	0	0	0	0	24	23	47	0	21	22	43	1	26	24	0	51	5	20	19	44	4	27	24	55	2	19	17	38	278		
STEPHEN OLNEY																																			
Regular										19	19	38		18	20	38		18	19	15	52		21	14	35		21	22	43		25	25	50	256	
Resource			n/a							2		2		1		1			2		2			5			4	4	8		2	2	4	22	
PIAS (Prim.Int.Acad.Sppt.)									2		2		3			3	4			4	0		0		0				0				0	9	
TOTAL	0	0	0	0	0	0	0	2	21	19	42	3	19	20	42	4	18	21	15	58	0	21	19	40	0	25	26	51	0	27	27	54	287		
WHELAN																																			
Regular										18	17	35		20	22	42		19	22		41		19	17	36		23	22	45		16	17	33	232	
Resource			n/a							2	2	4		2	0	2		2		2		2		2			2	3	5			2	2	17	
ASD (Autistic Spec. Dis.)												0				0	1			1	3		3		3	2			2			2	8	8	
TOTAL	0	0	0	0	0	0	0	0	20	19	39	0	22	22	44	1	21	22	0	44	3	19	19	41	2	25	25	52	2	18	17	37	257		
ALL ELEMENTARY TOTALS	PKSC am	PKSC pm					Tot PK	93	K-SC	Tot K	5	1-SC	4	Tot 1	257	2-SC	10	Tot 2	282	3-SC	8	Tot 3	253	4-SC	6	Tot 4	286	5-SC	4	Tot 5	280	Tot ELEM	1704		

**NORTH PROVIDENCE SCHOOL DEPARTMENT
ENROLLMENT 2013-2014 - Rev. 1/03/2014**

MIDDLE SCHOOLS

BIRCHWOOD	Gr. 6	Gr. 7	Gr. 8	
Regular	103	100	108	
Resource	16	18	15	
Sp.Ed. Spectrum Class	1	1	2	The new Sp.Ed.Spectrum Class students are TBD
Sub Totals	120	119	125	
Grand Total Birchwood			364	
RICCI	Gr. 6	Gr. 7	Gr. 8	
Regular	127	113	101	
Resource	24	13	21	
ELL				
Intensive Resource				
Sub Totals	151	126	122	
Grand Total Ricci		245	399	
SUB TOTAL MIDDLE SCHOOLS	271	245	247	
GRAND TOTAL MIDDLE SCH.			763	

NORTH PROVIDENCE H.S.

	Gr. 9	Gr. 10	Gr. 11	Gr. 12	College *	Transition **	Homebound IEP ***	
Regular	175	234	196	219				
Resource	21	26	34	18				
Self Contained	18	15	9	6				
SUBTOTAL	214	275	239	243	0	0	0	
TOTAL HS				971				
TOTAL IN DISTRICT				3438				
TOTAL PLACED OUT				175				
GRAND TOTAL NPSPD				3613				

* College enrollment figure presented for information purposes only. These students are included in the Gr. 12 enrollment number.

** Transition students are not included in individual grade-level totals. (Outplacements)

*** Homebound per IEP

Out of District Placements	Grade	# Kids	Charters	Grade	# Kids	Charter Cont.	Grade	# Kids
	PK	8	Achievement First	1	2	Jaqueline Walsh	9	2
	K	0	Beacon Charter	10	1	RI School/Deaf	2	1
Encompasses:	1	4		11	2		4	1
19 Schools/Institutions	2	5		12	2		12	1
	3	1	CVS/Highlander	K	1	NEL/Cranston	HS	3
	4	6		2	2	MET	9	7
	5	5		7	2		10	2
	6	1	International	K	1		11	2
	7	1		1	3		12	3
	8	1		2	4	Shiela S. Nowell	HS	2
	9	3		3	2	Davies	HS	60
	10	4		4	1			
	11	7	Kingston Hill	3	1	TOTAL		113
	12	12	RINI Middle Col.	10	2			
	Total	58		11	1			
SPED				12	1			
Out of District Non-SPED	Total	4		8	1			
	Total	62	Urban Coll					

TOWN OF NORTH PROVIDENCE SCHOOL DEPARTMENT

2240 Mineral Spring Avenue, North Providence, Rhode Island 02911
(401) 233-1100 - FAX (401) 233-1106 - TDD (800) 745-6575

Melinda A. Smith, M.Ed., *Superintendent*
Lisa K. Jacques, *Assistant Superintendent*
John J. McNamee, CPA, *Director of Finance*
Kim Carson, Ph.D., *Director of Special Education*
David Wright, *Director of Technology*

SCHOOL COMMITTEE

Anthony R. Marciano, Sr., Esq., *Chair*
Gina M. Picard, M.Ed., *Vice Chair*
Stephen D. Palmieri, *Clerk*
Steven M. Andreozzi
Donald J. Cataldi
Roderick E. DaSilva
Ronald Iannetta, M.Ed.

January 13, 2014

Mr. Joseph da Silva
School Construction Coordinator,
Architectural Design Reviewer
State of Rhode Island Department of Elementary and
Secondary Education
Office of Statewide Efficiencies
255 Westminster Street
Providence, RI 02903

Re: North Providence School Department
Stage 1, Necessity of School Construction Application

Dear Mr. da Silva:

Please be advised that the Town of North Providence School Department will be submitting a Stage 1 of the Necessity of School Construction Application during the month of January 2014.

A Building Committee consisting of representatives from the both the Town and the School Department, the public, parents and representatives in the field of education. The Building Committee has been tasked with assessing the conditions of the existing educational facilities and determining the need for new construction and/or renovation of the facilities to provide a safe and nurturing learning environment for the students in the North Providence Schools. The new construction and/or improvements to the Schools will be financed through the issuance of long-term bonds.

The planning has commenced and we expect a Stage 11 submittal in early March of 2014. We anticipate the Board of Regent's approval in early July 2014. We anticipate looking to receive voter approval of a bond issue for this project in the November 2014 election.

Mr. Joseph da Silva

January 13, 2014

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John McNamee, the Director of Finance for the School Department will be the contact person for this project. He can be reached by telephone at (401) 233-1104 or by email at jmcnamee@northprovschools.org.

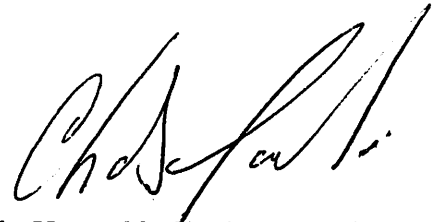
Sincerely,



Melinda A. Smith, M. Ed.
Superintendent of Schools



Anthony R. Marciano, Sr., Esq.
Chair, North Providence School Committee



The Honorable Charles A. Lombardi
Mayor, Town of North Providence

NORTH PROVIDENCE SCHOOL DEPARTMENT
FACILITIES COMMITTEE

Melinda A. Smith, M.Ed., Superintendent of Schools, Town of North Providence

John McNamee, Director of Finance, North Providence School Department

Joe Goho, Principal of North Providence High School

Stephen Palmieri, North Providence School Committee Member

Steven Andreozzi, North Providence School Committee Member

David Wright, Technology Director, North Providence School Department

Jim Fuoroli, Superintendent of Buildings, Town of North Providence

Pasquale Zarlenga, Community Member

William Floriani, Community Member

Donna Alqassar, Parent Representative

Dr. Frank Pallotta, Community Member; Superintendent of Burrillville School Dept.

John Lynch, North Providence Town Council Member

District Asset Protection Plan Summary

FY 2012

District Name: Providence

Superintendent: |

Central Office Address: Central Spring Avenue
Providence, RI 02911

Business Manager:

Certified Facilities Manager: J Milazzo

School Committee Chair:

Contact Information: J Milazzo

Certified Facilities Manager:

School Name & Address:	Past Renovations	Gross Bldg Sq Footage	Assessed Bldg Value	Grades Served	Current Enrollment	School Capacity	Number of Classrooms	Facility Rating
Central Office - Fire Code Upgrades		17,528	1,107,000	N/A	N/A	N/A	N/A	2
BirchWood		28,718	10,366,500	6 thru 8	400	574	27	2
Ricci		43,186	7,632,000	6 thru 8	352	658	31	2
Centredale``		25,333	4,251,600	pre k thru 5	246	350	14	2
Greystone		31,455	5,081,700	pre k thru 5	314	375	15	2
Marieville		28,210	4,460,700	k thru 5	262	300	12	2
McGuire		25,008	4,311,200	k thru 5	248	250	10	2
Stephen Olney		28,831	4,677,200	k thru 5	273	350	14	2
Whelan		22,886	3,399,600	k thru 5	201	350	14	2
N. Providence High School		209,387	37,191,500	9 thru 12	1059	1615	76	2
		460,542	82,479,000		3,355			

District Asset Protection Plan Summary

FY 2012

District Name: Melinda Smith

Central Office Address: John J. McNamee

Anthony Marciano

Certified Facilities Manager

Contact Information: Armand Milazzo

School Name & Address:		Proposed Expenditures				Total
		FY 2014	FY 2015	FY 2016	FY 2017	
Central Office - Fire Code Upgrades	Total CIP	\$ 500,000	\$ 692,400	\$ -	\$ -	\$ 1,192,400
	Total Asset					
BirchWood	Total CIP	\$ 120,000	\$ 14,500	\$ 2,500	\$ 2,500	\$ 139,500
	Total Asset					
Ricci	Total CIP	\$ 35,500	\$ 2,500	\$ 2,500	\$ 2,500	\$ 43,000
	Total Asset					\$ -
Centredale``	Total CIP	\$ 105,000	\$ 150,000	\$ 50,000	\$ -	\$ 305,000
	Total Asset					\$ -
Greystone	Total CIP	\$ 52,500	\$ 190,000	\$ 255,000	\$ 5,000	\$ 502,500
	Total Asset					\$ -
Marieville	Total CIP	\$ 60,500	\$ 578,000	\$ 128,000	\$ 28,000	\$ 794,500
	Total Asset					\$ -
McGuire	Total CIP	\$ 95,000	\$ 380,000	\$ 250,000	\$ 120,000	\$ 845,000
	Total Asset					\$ -
Stephen Olney	Total CIP	\$ 110,000	\$ 450,000	\$ 25,000	\$ -	\$ 585,000
	Total Asset					\$ -
Whelan	Total CIP	\$ 130,000	\$ 175,000	\$ 200,000	\$ -	\$ 505,000
	Total Asset					\$ -
N. Providence High School	Total CIP	\$ 55,000	\$ 150,000	\$ -	\$ -	\$ 205,000
	Total Asset					\$ -
	Total Asset	\$ 1,263,500	\$ 2,782,400	\$ 913,000	\$ 158,000	\$ 5,116,900

2014 Kingston, RI BOC Level I

PLEASE SAVE OR PRINT THE FOLLOWING INFORMATION FOR YOUR RECORDS.

Location, Your Information & Confirmation Number

Location:**University of Rhode Island**

Independence Square Building

Kingston, RI 02881

Parking: Parking is available in the staff parking lot located behind the Independence Square building, accessed via W. Independence Way. BOC participants, course manager and instructor will need a parking permit. These will be distributed at the first class, and attendees will need to return to their car and display the hangtag permit.

[Click here for the Kingston at URI campus and parking map](#)

Map to building can be found here:

http://www.uri.edu/home/visitors/finder/index.php?building_id=51

Directions by Car to the Main Entrance

From the north, take I-95 South to Exit 9 (Route 4 South) in RHODE ISLAND, follow Route 4 to Route 1 South. Stay on Route 1 until the intersection of Route 138 West. Route 138 West will bring you to the University.

From the south, take I-95 North to Exit 3A (Route 138 East). Continue east on Route 138 to the University.

From Newport, follow Route 138 West over the Newport and Jamestown bridges to Route 1. Take Route 1 South to Route 138 West. Follow Route 138 West to the University.

The Independence Square Building is on 25 W Independence Way.

Meals:

A continental breakfast will be provided at each session. Lunch is on your own.

***LEED Continuing Education Credit--**GBCI has approved BOC® 1001-1006 classes as continuing education training for LEED® professionals seeking to maintain their credentialing requirements. If you wish to receive this credit, please provide your GBCI # and Program ID to the BOC Course Manager in BOC classes 1001-1006.

Your Information & Confirmation Number:

Confirmation Number: KHNNTC6B82M

Name:

Jim Fuoroli

Job Title:

Superintendent of Public Buildings

Address:

2240 Mineral Spring Avenue

NORTH Providence, Rhode Island 02911

Number of People Registered:

1

Confirmation Number:

KHNNTC6B82M (needed to modify your registration)

Event Title:

2014 Kingston, RI BOC Level I

Location:

University of Rhode Island

25 West Independence Way

Kingston, Rhode Island 02881

USA

Phone:

North Providence School Department
Schedule of Proposed Capital Expenditures
For the Five Year Period Ending June 30, 2018

Location: High School

		FY 2014	FY 2015	Estimated Costs FY 2016	FY 2017	FY 2018	Total
Description of Improvements:							
Replace roof	1/4		200,000			\$	200,000
New acoustics for auditorium	1		30,000			\$	30,000
Refurbish sky lights and replace metal framing	1	10,000				\$	10,000
Replace seating - football field	1			150,000		\$	150,000
Replace rug in the auditorium	1	20,000				\$	20,000
Install energy efficient exterior lighting	1/4	25,000				\$	25,000
Repair and reglaze all windows	1		80,000			\$	80,000
Replace air conditioner unit	1	100,000				\$	100,000
Install Energy Efficient Motors			20,000			\$	20,000
Total		\$ 55,000	\$ 330,000	\$ 150,000	\$ -	\$ -	\$ 635,000

North Providence School Department
Schedule of Proposed Capital Expenditures
For the Five Year Period Ending June 30, 2018

Location: Birchwood Middle School

Location: Birchwood Middle School			Estimated Costs											
			FY 2014	FY 2015	FY 2016	FY 2017	FY 2018	Total						
Description of Improvements:														
Refinish gynasium floor	1	\$	2,500	\$	2,500	\$	2,500	\$	2,500	\$	12,500			
Painting - interior and exterior	1		12,000		12,000		12,000				36,000			
Field renovations	1		12,500		12500						25,000			
Plumbing - installation of "back flow preventers"; construction of above ground housing for pipes	1/4		35,000								35,000			
Installation of energy efficient exterior lighting	1/4		25,000								25,000			
Installation of new energy efficient heating circulators	1/4		25,000								25,000			
Security Improvements-key farb system 2 doors			8,000								8,000			
Total			\$	120,000	\$	27,000	\$	14,500	\$	2,500	\$	2,500	\$	166,500

North Providence School Department
Schedule of Proposed Capital Expenditures
For the Five Year Period Ending June 30, 2018

Location: Ricci Middle School

		FY 2014	FY 2015	Estimated Costs		FY 2017	FY 2018	Total
				FY 2016				
Description of Improvements:								
Installation of new boilers	1/4		\$ 80,000				\$ 80,000	
New heating system for cafeteria	1/4		20,000					20,000
Security Improvements - key farb system	1/4	8,000						8,000
Installation of energy efficient exterior lighting	1/4	25,000						25,000
Refinish gymnasium floors	1	2,500	2,500	2,500	2,500	2,500		12,500
Replace grass build ashphalt				50,000				50,000
		\$ 35,500	\$ 102,500	\$ 2,500	\$ 2,500	\$ 2,500	\$ 195,500	

North Providence School Department
Schedule of Proposed Capital Expenditures
For the Five Year Period Ending June 30, 2018

Location: Centredale Elementary School

Location: Centredale Elementary School		Estimated Costs					
		FY 2014	FY 2015	FY 2016	FY 2017	FY 2018	Total
Description of Improvements:							
Asbestos abatement and installation of VCT tiles	1/4		\$ 100,000	\$ 50,000	\$ 50,000		\$ 200,000
Replace gymnasium floor	1/4		\$ 45,000				45,000
Upgrade electrical system and install energy efficient exterior lighting	1/4		75000	75,000			150,000
Renovate rest rooms and install automatic flush valves	1/4	45,000					45,000
HVAC - installation of energy efficient circulator pumps	1/4	20,000	20,000				40,000
Replace underground piping and install a separate pipe area with heat, etc.	1/4		75,000	25,000			100,000
Repair and replace the metal flashing	1	15000					15,000
Security Improvements:							
Replace all doors, interior and exterior; install corridor doors; Install safety closures on all doors with locking system; Install video intercom with locking hardware and readers; Upgrade all intercom systems to state of the art IP System							-
Install video surveillance cameras that feed directly to Public Safety Complex	1/4	25,000	25,000				50,000
Repave driveway and parking lots	1		100,000				100,000
Total		\$ 105,000	\$ 440,000	\$ 150,000	\$ 50,000	\$ -	\$ 745,000

North Providence School Department
Schedule of Proposed Capital Expenditures
For the Five Year Period Ending June 30, 2018

Location: Greystone Elementary School

Location: Greystone Elementary School		Estimated Costs						
		FY 2014	FY 2015	FY 2016	FY 2017	FY 2018	Total	
Description of Improvements:								
Asbestos abatement and installation of VCT tiles	1/4		\$ 50,000	\$ 50,000	\$ 100,000		\$ 200,000	
Refurbish gymnasium floor	1	\$ 5,000	5,000	5,000	5,000	5,000	25,000	
Upgrade electrical system and install energy efficient exterior lighting	1/4		75,000	75,000			150,000	
HVAC - installation of energy efficient circulator pumps	1/4	20,000	20,000				40,000	
Security Improvements:								
Replace all doors, interior and exterior; install corridor doors; Install safety closures on all doors with locking system; Install video intercom with locking hardware and readers; Upgrade all intercom systems to state of the art IP System Install video surveillance cameras that feed directly to Public Safety Complex	1/4	27,500	27,500				55,000	
Repave driveway and parking lots	1				150,000		150,000	
Improvements to fields - sod, sprinklers, etc.	1			60,000			60,000	
Total		\$ 52,500	\$ 177,500	\$ 190,000	\$ 255,000	\$ 5,000	\$ 680,000	

North Providence School Department
Schedule of Proposed Capital Expenditures
For the Five Year Period Ending June 30, 2018

Location: Marieville Elementary School

Location: Marieville Elementary School		Estimated Costs					
		FY 2014	FY 2015	FY 2016	FY 2017	FY 2018	Total
Description of Improvements:							
Asbestos abatement and installation of VCT tiles	1/4		\$ 100,000	\$ 100,000	\$ 100,000		\$ 300,000
Replace roof	1/4			100,000			100,000
Upgrade electrical system and install energy efficient exterior lighting	1/4		150,000	150,000			300,000
Renovate rest rooms and install automatic flush valves	1/4	30,000	30,000				60,000
HVAC - installation of energy efficient circulator pumps	1/4			25,000	25,000	25,000	75,000
Refurbish gym floor	1	3,000	3,000	3,000	3,000	3,000	15,000
Security Improvements:							
Replace all doors, interior and exterior; install corridor doors; Install safety closures on all doors with locking system; Install video intercom with locking hardware and readers; Upgrade all intercom systems to state of the art IP System Install video surveillance cameras that feed directly to Public Safety Complex	1/4	27,500	27,500				55,000
Repave driveway and parking lots	1			200,000			200,000
Total		\$ 60,500	\$ 310,500	\$ 578,000	\$ 128,000	\$ 28,000	\$ 1,105,000

North Providence School Department
Schedule of Proposed Capital Expenditures
For the Five Year Period Ending June 30, 2018

Location: McGuire Elementary School

		FY 2014	FY 2015	Estimated Costs FY 2016	FY 2017	FY 2018	Total
Description of Improvements:							
Asbestos abatement and installation of VCT tiles	1/4		\$ 150,000	\$ 150,000			\$ 300,000
Replace roof - portion only	1/4					120,000	120,000
Upgrade electrical system and install energy efficient exterior lighting	1/4		150,000	150,000			300,000
Renovate rest rooms and install automatic flush valves	1/4	35,000					35,000
HVAC - installation of energy efficient circulator pumps	1/4	40,000					40,000
Replace underground piping and install a separate pipe area with heat, etc.	1/4			50,000	50,000		100,000
Security Improvements:							
Replace all doors, interior and exterior; install corridor doors; Install safety closures on all doors with locking system; Install video intercom with locking hardware and readers; Upgrade all intercom systems to state of the art IP System Install video surveillance cameras that feed directly to Public Safety Complex	1/4	20,000	50,000	30,000			100,000
Repave driveway and parking lots	1				200,000		200,000
Total		\$ 95,000	\$ 350,000	\$ 380,000	\$ 250,000	\$ 120,000	\$ 1,195,000

North Providence School Department
Schedule of Proposed Capital Expenditures
For the Five Year Period Ending June 30, 2018

Location: Stephen Olney Elementary School

Location: Stephen Olney Elementary School		Estimated Costs					
		FY 2014	FY 2015	FY 2016	FY 2017	FY 2018	Total
Description of Improvements:							
Asbestos abatement and installation of VCT tiles	1/4		\$ 75,000	\$ 50,000	\$ 25,000		\$ 150,000
Replace gymnasium floor	1			100,000			100,000
Upgrade electrical system and install energy efficient exterior lighting	1/4		150,000	150,000			300,000
Renovate rest rooms and install automatic flush valves	1/4	40,000					40,000
HVAC - installation of energy efficient circulator pumps	1/4	20,000	20,000				40,000
Replace underground piping and install a separate pipe area with heat, etc.	1/4		100,000				100,000
Installation of a new boiler, convert from steam to forced hot water	1/4			150,000			150,000
Security Improvements:							
Replace all doors, interior and exterior; install corridor doors; Install safety closures on all doors with locking system; Install video intercom with locking hardware and readers; Upgrade all intercom systems to state of the art IP System Install video surveillance cameras that feed directly to Public Safety Complex	1/4	50,000	50,000				100,000
Total		\$ 110,000	\$ 395,000	\$ 450,000	\$ 25,000	\$ -	\$ 980,000

North Providence School Department
Schedule of Proposed Capital Expenditures
For the Five Year Period Ending June 30, 2018

Location: Whalen Elementary School

Location: Whalen Elementary School		Estimated Costs					
		FY 2014	FY 2015	FY 2016	FY 2017	FY 2018	Total
Description of Improvements:							
Asbestos abatement and installation of VCT tiles	1/4		\$ 100,000	\$ 100,000			\$ 200,000
Replace gymnasium floor	1/4		50,000				50,000
Upgrade electrical system and install energy efficient exterior lighting	1/4		75000	75000			150,000
Renovate rest rooms and install automatic flush valves	1/4	20,000					20,000
HVAC - installation of energy efficient circulator pumps	1/4	60,000					60,000
Replace roof	1/4				200000		200,000
Security Improvements:							
Replace all doors, interior and exterior; install corridor doors; Install safety closures on all doors with locking system; Install video intercom with locking hardware and readers; Upgrade all intercom systems to state of the art IP System Install video surveillance cameras that feed directly to Public Safety Complex	1/4	50,000	50,000				100,000
Repave parking lots; correct drainage issue	1		100,000				100,000
Total		\$ 130,000	\$ 375,000	\$ 175,000	\$ 200,000	\$ -	\$ 880,000

FY 2014	Estimated Costs				Total
	FY 2015	FY 2016	FY 2017	FY 2018	
	80,000				80,000
	12,000				12,000
500,000	500,000	692,400			1,692,400
500,000	\$ 592,000	\$ 692,400	\$ -		\$ 1,784,400

CENTREDALE ELEMENTARY SCHOOL

41 ANGELL AVENUE NORTH PROVIDENCE, RI 02911





**NORTH
PROVIDENCE
PUBLIC
SCHOOLS**

**CENTREDALE
ELEMENTARY
SCHOOL**

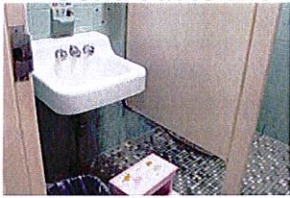
DATE:	REV. #	DESCRIPTION
REVISIONS:		

06 JANUARY 2014	06 JAN 2014
N.T.	N.T.
AS NOTED	AS NOTED
L.T.	L.T.

400

CAPACITY ANALYSIS						
NORTH PROVIDENCE PUBLIC SCHOOLS						
CENTREDALE SCHOOL				PRE K-5 GRADE		
ROOM NUMBER	USE		SIZE SQ.FT.	ROOM CAPACITY TEACHERS CONTRACT	CODE CAPACITY	SIZE PER RIDE
	CURRENT USE	ROOM				
MAIN LEVEL						
1	LIBRARY		835			2,020
2	GRADE 4	CLASSROOM	855	25	42	950
3	GRADE 3	CLASSROOM	850	20	42	950
4	GRADE 3	CLASSROOM	850	20	42	950
5	GRADE 5	CLASSROOM	855	25	42	950
6	GRADE 5	CLASSROOM	855	25	42	950
7	GRADE 4	CLASSROOM	855	25	42	950
8	GRADE 2	CLASSROOM	875	20	43	950
9	GRADE 2	CLASSROOM	840	20	42	950
10	GRADE PK	CLASSROOM	840	20	42	1,200
11	GRADE K	CLASSROOM	840	20	42	1,200
12	GRADE K	CLASSROOM	840	20	42	1,200
13	GRADE 1	CLASSROOM	840	20	42	950
14	GRADE 1	CLASSROOM	840	20	42	950
15	KITCHEN		410			1,600
	READING ROOM		210	10	10	
	SECRETARY	OFFICE	210			1,500
	LAVATORY		50			
	PRINCIPAL	OFFICE	250			
	SPEECH		200	10	10	
	STORAGE		160			400
	NURSE		120			510
	CUSTODIAN		75			1,500
	GIRLS	LAVATORY	265			
	BOYS	LAVATORY	260			
	LAVATORY		40			
	LAVATORY		40			
	STORAGE		70			
	STORAGE		70			
	LAVATORY		40			
	LAVATORY		40			
	TEACHERS LOUNGE		290			300
	OCCUPATIONAL THERAPISTS	OFFICE	55			1,500
	SOCIAL WORKER	OFFICE	55			
	RESOURCE		115	10		
	GYM	GYM	2,675		178	6,300
	STORAGE		125			
	STORAGE		185			
	STORAGE		125			
		SUBTOTAL	18,005	310		
	TOTAL BUILDING SQ.FT.	25565				
	CURRENT ENROLLMENT:	292				
	TOTAL CAPACITY:	310	X 95% = 294			
	95% UTILIZATION	294				
	SQ. FT. PER STUDENT:	87	(AT CAPACITY)			
		87	(AT CURRENT ENROLMENT)			

Centredale Elementary School



RESTROOM



STAIRS



RESTROOM 1



RESTROOM 2



ENTRANCE



GYM FLOOR



NO PULL ENTRANCE



NOT ADA (2)



NOT ADA



ROOF STRUCTURE



SPED



ART ROOM



DRINKING F.



RR (2)



BOYS (2)



BOYS 5



BOYS



GIRLS 6



IMG_5651



IMG_5652



SPED (2)



SPED (3)



OPEN ROOMS



SPED (4)



VESTIBULE



ROOF



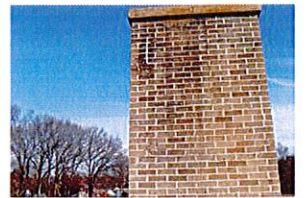
ROOF (2)



ROOF (3)



ROOF (4)



CHIMNEY



PAVING



ROOF (5)



SITE



GAS LINE



NO ADA ACCESS

Centredale Elementary School



ROOF (6)



SITE (2)



SITE (3)



ROOF (7)



SITE (4)



ROOF (8)



ROOF (9)



ENTRANCE (2)



IMG_5674



SITE STAIR



IMG_5706

ARCHITECTURAL FEASIBILITY STUDY

CENTREDALE ELEMENTARY SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
- 3 - ACTION REQUIRED 4-5 YEARS
- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

GENERAL INFORMATION

NAME OF SCHOOL: CENTREDALE ELEMENTARY SCHOOL

PRINCIPAL: JOAN PICCARDI

ADDRESS: 41 ANGELL AVENUE, NORTH PROVIDENCE, RI 02911

OWNER: NORTH PROVIDENCE SCHOOL DEPARTMENT

GRADE LEVELS: PK THROUGH 5

STUDENT POPULATION: 292

STUDENT CAPACITY: 294

YEAR CONSTRUCTED: 1962

ADDITIONS: N/A

CONSTRUCTION DATA:

STATE BUILDING CODE / CONSTRUCTION TYPE	
ORIGINAL BUILDING:	II B, BRICK, WOOD LAM ROOF JOIST
FIRST ADDITION:	N/A
SECOND ADDITION:	N/A
OCCUPANCY GROUP:	K
SUB - BASEMENT:	N/A
BASEMENT:	N/A
GRADE LEVEL:	N/A
SECOND FLOOR:	N/A
THIRD FLOOR:	N/A

NUMBER OF STORIES	
ORIGINAL BUILDING:	1
FIRST ADDITION:	N/A
SECOND ADDITION:	N/A

ARCHITECTURAL FEASIBILITY STUDY**CENTREDALE ELEMENTARY SCHOOL****CONDITIONS, KEY CRITERIA:**

- 1 - IMMEDIATE ACTION REQUIRED
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- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

INTERIOR FINISHES

	FLOOR FINISH	CONDITIONS	WALL FINISH	CONDITIONS	CEILING FINISH	CONDITIONS
TYPICAL CLASSROOMS	VCT/ACT	2			EXPOSED	3
GYM	WD	3	CMU/PAINT			
GYM LOCKER ROOMS	N/A					
LOCKER ROOMS	N/A					
AUDITORIUM	N/A					
CAFETERIA	SAME AS GYM					
LIBRARY	VCT/ACT	2	CMU/PAINT	2	EXPOSED	3
OFFICES	VCT/ACT	2	CMU/PAINT	2	EXPOSED	
TEACHER LOUNGE	VCT/ACT	2	CMU/PAINT		EXPOSED	
TOILETS	CT	2	CMU/PAINT	2	GYP	3
CORRIDORS	VCT/ACT	2	CMU	2	SAT	3
LOBBIES	VCT/ACT	2	CMU	2	SAT	3
VESTIBULE	VCT/ACT	2	CMU	2	SAT	3
STAIRS	N/A					
KITCHEN	N/A	2	CMU	2	SAT	3
MECHANICAL/SERVICE	CON	2	CMU	2		3

INTERIOR ELEMENTS

	MATERIAL	CONDITION	REMARKS
INTERIOR DOORS	WD/A		
HARDWARE	50% I	5/2	ORIGINAL NOT ADA
LOCKERS	N/A		
CUBBIES	WD	2	OPEN
COUNTER/CABINETS	PL/WD	2	
TEACHERS WARDROBE	WD/PL	2	

ABBREVIATIONS

SAT	SUSPENDED ACOUSTICAL TILE	CONC	CONCRETE
VCT	VINYL COMPOSITE TILE	CMU	CONCRETE MASONRY UNIT
ACT	ASBESTOS COMPOSITE TILE	GYP BD	GYPSUM BOARD
CT	CERAMIC TILE	PTD	PAINTED
PL	PLASTIC LAMINATE	BIT	BITUMINOUS PAVING
WD	WOOD	ALUM	ALUMINUM
MTL	METAL	N/A	NOT APPLICABLE
		RT	RUBBER TILE

ARCHITECTURAL FEASIBILITY STUDY**CENTREDALE ELEMENTARY SCHOOL****CONDITIONS, KEY CRITERIA:**

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- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

PROVISIONS FOR ACCESSIBILITY

EXTERIOR ACCESSIBLE ROUTE	
ACCESSIBLE ROUTE:	

	COMPLIANCE	REMARKS
PRIMARY ENTRANCE:	YES	
EXTERIOR/ EGRESS DOORS:	YES	
SIGNAGE:	NO	

INTERIOR ACCESSIBLE ROUTE	COMPLIANCE	REMARKS
ACCESSIBLE ROUTE:	NO	30" CROSS CORRIDOR DOORS
ENTRANCE VESTIBULES:	NO	
SIGNAGE:	NO	
OFFICES:	NO	NO ADA COUNTER
LIBRARY:	NO	NO ADA COUNTER
AUDITORIUM	N/A	
CAFETERIA:	YES	30" CROSS CORRIDOR DOORS
CROSS- CORRIDOR:	NO	
STAIRS:	N/A	
HARDWARE:	50%	
ADMINISTRATION:		
GYMNASIUM:	YES	
LOCKER ROOM:	N/A	
CLASSROOM DOORS:	N/A	
DRINKING FOUNTAINS	NO	
CLASSROOM SINKS:	NO	

CONDITIONS				
VERTICAL ACCESS:	N/A			
(ELEVATORS / LIFTS)				

	FLOOR SURFACE	HANDRAIL / GUARD HEIGHTS	CONDITIONS
STAIRWAYS:	N/A		
RAMPS:			

ARCHITECTURAL FEASIBILITY STUDY**CENTREDALE ELEMENTARY SCHOOL****CONDITIONS, KEY CRITERIA:**

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PROVISIONS FOR ACCESSIBILITY CONT.**CLINIC:**

REQUIRED CLINIC AREAS/ ASSEMBLIES	COMPLIANCE	CONDITIONS	REMARKS
WAITING AREA:	NO	2	
PRIVATE MEETING AREA:	NO	2	
TREATMENT AREA:	NO	2	
REST ROOM:	NO	2	

KITCHEN:

REQUIRED KITCHEN AREAS/ ASSEMBLIES	COMPLIANCE	CONDITIONS	REMARKS
WASHABLE SURFACES:	YES	2	KITCHEN IS USED FOR CIRCULATION FOR 3 E SPACES
HAND SINK:	YES	2	
REST ROOM:	YES	2	

CLASSROOM EGRESS:

	COMPLIANCE	CONDITIONS	REMARKS
EMERGENCY RESCUE WINDOW:	NO		
DOORS BETWEEN CLASSROOMS:	YES	3	

ARCHITECTURAL FEASIBILITY STUDY

CENTREDALE ELEMENTARY SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
- 3 - ACTION REQUIRED 4-5 YEARS
- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

SITE DATA:

	DESCRIPTION
LOT AREA:	
LAND USED:	PARENT DROP OFF AND PARKING NOT ON SITE

	MATERIALS	CONDITIONS	REMARKS
PARKING LOT:	BIT	2	
SIGNAGE:	WD/ALUM	2	
BUS DROP OFF:	BIT	1	DEAD ENDS
BUS PICK UP:	BIT	1	DEAD ENDS
PARENT DROP:	BIT	1	
PARENT PICK UP:	BIT	1	
LOADING/SERVICE AREA:	BIT	2	
TRASH AREA:	BIT	2	

SITE ACCESSIBILITY DATA:

	COMPLIANCE	REMARKS
PARKING:	YES	
CURB CUTS:	YES	
RAMPS:	YES	
WALKWAYS:	NO	

ARCHITECTURAL FEASIBILITY STUDY

CENTREDALE ELEMENTARY SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
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- 4 - ACTION REQUIRED 5+ YEARS
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BUILDING SYSTEMS AND ASSEMBLIES OF ORIGINAL BUILDINGS CONT**EXTERIOR**

EXTERIOR ENVELOPE	MATERIAL	CONDITIONS	REMARKS
WALL ASSEMBLY:	CMU/BRICK	2	SEE STRUCTURAL REPORT
ORIGINAL BUILDING:	N/A		
ADDITION:	N/A		
ROOF ASSEMBLY:		1	
ORIGINAL BUILDING:	N/A		
ADDITION:	N/A		
WINDOWS:	ALUM	3	DO NOT MEET PULL TEST
ORIGINAL BUILDING:	N/A		
ADDITION:	N/A		
EXTERIOR DOORS:	ALUM/MTL	4	
ORIGINAL BUILDING:	N/A		
ADDITION:	N/A		

ARCHITECTURAL FEASIBILITY STUDY**CENTREDALE ELEMENTARY SCHOOL****CONDITIONS, KEY CRITERIA:**

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
- 3 - ACTION REQUIRED 4-5 YEARS
- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

SECURITY

	PROVIDED	NOT PROVIDED	REMARKS
SCHOOL SIGN:		X	
MAIN ENTRANCE IDENTIFICATION:		X	
EXTERIOR DOOR IDENTIFICATION:		X	
PASSIVE SECURITY:		X	
ACTIVE SECURITY:	X		
EXTERIOR CAMERAS:		X	
INTERIOR CAMERAS:		X	
DOOR FOB:	X		
SENSORS:		X	ONLY ON MAIN ENTRANCE
CLASS ROOM LOCKDOWN:	X		
CLASS ROOM CONNECTING DOOR:	X		

NOTES:

1)

ARCHITECTURAL FEASIBILITY STUDY

CENTREDALE ELEMENTARY SCHOOL

**ACCESSIBLE
RESTROOMS**

	COMPLIANCE	CONDITIONS	REMARKS
UNISEX 1			
TOILET	NO	2	
SINK	NO	2	
ACCESSORIES	NO	2	
GRAB BARS	NO	2	
TURNING RADIUS	NO	2	
UNISEX 2			
TOILET	NO	2	
SINK	NO	2	
ACCESSORIES	NO	2	
GRAB BARS	NO	2	
TURNING RADIUS	NO	2	
UNISEX 3			
TOILET	NO	2	
SINK	NO	2	
ACCESSORIES	NO	2	
GRAB BARS	NO	2	
TURNING RADIUS	NO	2	
UNISEX 4			
TOILET	NO	2	
SINK	NO	2	
ACCESSORIES	NO	2	
GRAB BARS	NO	2	
TURNING RADIUS	NO	2	
BOYS 5			
TOILET	NO	2	
SINK	NO	2	
ACCESSORIES	NO	2	
GRAB BARS	NO	2	
TURNING RADIUS	NO	2	
GIRLS 6			
TOILET	NO	2	
SINK	NO	2	
ACCESSORIES	NO	2	
GRAB BARS	NO	2	
TURNING RADIUS	NO	2	

CENTREDALE ELEMENTARY SCHOOL

NOTES:

- FRONT ENTRANCE HAS 6" STEP, DOES NOT MEET EGRESS CODE.
- PARENTS PARKING, ROAD, WORKS ARE DONE ON ADJOINING NEIGHBORHOOD STREETS.
- BUS DROP OFF DEAD ENDS.
- THERE IS NO PLAY GROUND.
- THERE IS NON ART ROOM.
- THERE IS NON MUSIC ROOM.
- THERE IS NO COMPUTER ROOM.
- SOCIAL WORKER AND PSYCHOLOGIST SHARE SPACE.
- CAFETERIA/GYM HAS BAD ACOUSTICS (TOO LOUD)
- THE MODIFIED BITUMEN WITH GRANULAR SURFACE ROOF IS PAST ITS USEFUL PERFORMANCE LIFE.
- THERE IS ROOF PONDING, SEAMS HAVE FAILED.
- THERE IS EVIDENCE OF SATURATED INSULATION AND FAILED FLASHING, NON FUNCTIONING ROOF DRAINS.
- FIRE CODE: SEE ATTACHMENT FOR FIRE CODE VIOLATIONS OF EXISTING, EGRESS LIGHTING, DOOR HARDWARE, FIRE ALARM, SPRINKLER SYSTEM, SMOKE DETECTOR, WINDOW SHADES AND DOOR PLEXIGLASS.
- WINDOWS FOR RESCUE ASSISTANCE ARE NOT PROVIDED.
- WOOD FINISH AT OFFICE AND LIBRARY.
- NO RATING AT GLASS OPENING IN OFFICE.

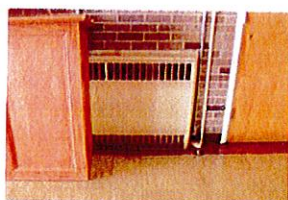
Centredale Elementary School - MEP



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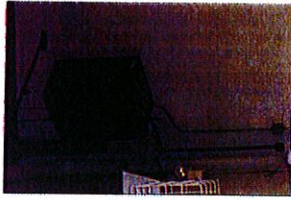
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GEDC0060



GEDC0061



GEDC0062



GEDC0063



GEDC0064



GEDC0065



GEDC0066



GEDC0067



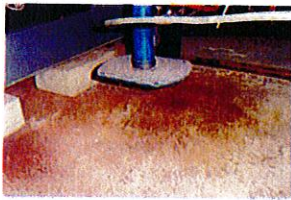
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GEDC0074



GEDC0075



GEDC0076



GEDC0077



GEDC0078

ARCHITECTURAL FEASIBILITY STUDY

CENTERDALE ELEMENTARY SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
- 3 - ACTION REQUIRED 4-5 YEARS
- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

ELECTRICAL

THE POWER, SIGNAL, LIGHTING, FIRE ALARM AND LIFE SAFETY SYSTEMS AND DEVICES IN THIS SCHOOL
APPEAR TO HAVE REACHED THEIR USEFUL LIFE.

OBSERVATIONS:

A NEW ADDRESSABLE FIRE ALARM SYSTEM IS SCHEDULED TO BE INSTALLED
IN THE NEAR FUTURE.

RECOMMENDATIONS:

ANY IMPROVMENTS TO THIS SCHOOL WILL REQUIRE COMPLETE SYSTEM UPGRADES.

	RATING	VOLTAGE	METERING	DATE OF INSTALLATION	CONDITIONS
SERVICE:	300A	120/240	1 PH, 3W	1961	POOR

	TYPE	LOCATION	CONDITIONS
TRANSFORMER:	50KVA	120/240	POLE MTD
			1961
			FAIR

	RATING	ENERGY SOURCE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
EMERGENCY GENERATOR:	NONE				

	TYPE	DATE OF INSTALLATION	CONDITIONS
DISTRIBUTION SYSTEM:	CONDUCTORS I		
		1961	FAIR

	IN CONDUIT	NON GROUNDED	DATE OF INSTALLATION	CONDITIONS
DEVICES:	GROUNDED /			
TYPICAL CLASSROOMS:	X		1961	FAIR
OFFICES:	X		1961	FAIR
GYM / CAFETERIA:	X		1961	FAIR
LOBBY / CORRIDOR:	X		1961	FAIR
TOILETS:	X		1961	FAIR

ARCHITECTURAL FEASIBILITY STUDY**CENTERDALE ELEMENTARY SCHOOL****CONDITIONS, KEY CRITERIA:**

- 1 - IMMEDIATE ACTION REQUIRED
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- 4 - ACTION REQUIRED 5+ YEARS
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ELECTRICAL CONT.

LIGHTING	LAMP TYPE	MOUNTING	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	FLUORESCENT	SURFACE	10+ YEARS	FAIR
OFFICES:	FLUORESCENT	SURFACE/RECESS	10+ YEARS	FAIR
LIBRARY:	FLUORESCENT	SURFACE	10+ YEARS	FAIR
GYM / CAFETERIA:	TSHD	SUSPENDED	2005	GOOD
LOBBY / CORRIDOR:	FLUORESCENT	SURFACE	10+ YEARS	FAIR
TOILETS:	FLUORESCENT	SURFACE	10+ YEARS	FAIR
LIGHTING CONTROLS:	SWITCHING/SENSORS		5+ YEARS	FAIR
THEATER LIGHTING SYSTEM::	N/A			

SITE LIGHTING:	LAMP TYPE:	MOUNTING	DATE OF INSTALLATION	CONDITIONS
SPORTS FIELDS:	N/A			
PARKING:	MH	BUILDING MTD	1961	POOR
WALKWAYS:	N/A	WALL	10+ YEARS	POOR
BUILDING ENTRANCES:	COMPACT FLUOR	CANOPY	1961	POOR

SECURITY SYSTEM:	TYPE:	MANUFACTURER:	DATE OF INSTALLATION	CONDITIONS
CCTV:	N/A			
DOOR ACCESS CONTROLS:	FOB AT MAIN ENT	KEYSCAN	1961	POOR
DETECTION DEVICES:	MOTION	KEYSCAN	1961	POOR

COMMUNICATIONS SYSTEM:	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
MASTER CLOCK / PROGRAM:	YES	MASTER TIMER	1961	FAIR
TYPICAL CLASSROOMS:	P/A	UNKNOWN	1961	FAIR
OFFICES:	P/A	UNKNOWN	1961	FAIR
PUBLIC AREAS:	P/A	UNKNOWN	1961	FAIR

ARCHITECTURAL FEASIBILITY STUDY**CENTERDALE ELEMENTARY SCHOOL****CONDITIONS, KEY CRITERIA:**

- 1 - IMMEDIATE ACTION REQUIRED
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- 5- MONITOR FOR FUTURE MAINTENANCE

TELE/ DATA VIDEO SYSTEM	TYPE	MANUFACTURER	CCTV	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	HARDWIRE & WIFI	UNKNOWN	NO	1961	FAIR
OFFICES:	HARWIRE	UNKNOWN	NO	1961	FAIR
LIBRARY:	HARDWIRE & WIFI	UNKNOWN	NO	1961	FAIR
GYM/ CAFETERIA:	NONE				

LOCAL SOUND SYSTEMS	TYPE	MANUFACTURER	CONTROLS	DATE OF INSTALLATION	CONDITIONS
GYM/ CAFETERIA	PA SYSTEM	UNKOWN		1961	

	TYPE:	MANUFACTURER:	CONTROLS	DATE OF INSTALLATION	CONDITIONS
EMERGENCY LIGHTING:	LIGHTED	UNKNOWN	BATTERY B/U	1961	POOR
EXIT LIGHTING:	NONE				

EMERGENCY LIGHTING HAS A CENTRALLY LOCATED BATTERY UNIT AND REMOTE HEADS.

	TYPE:	MANUFACTURER:	NOTIFICATIONS	DATE OF INSTALLATION	CONDITIONS
FIRE ALARM SYSTEM:	CONVENTIONAL	NOTIFIER	AUDIO/VISUAL	1961	POOR

FIRE ALARM DEVICES	DETECTOR TYPE	ALARM SYGNAL TYPE	PULL STATION	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	HEAT DETECTION	NONE		1961	POOR
OFFICES:	HEAT DETECTION	NONE		1961	POOR
LIBRARY:	HEAT DETECTION	NONE		1961	POOR
AUDITORIUM / STAGE:	N/A			1961	POOR
GYM/ CAFETERIA:	HEAT DETECTION	NONE	YES	1961	POOR
LOBBY / CORRIDOR:	SMOKE	AUDIO/VISUAL	YES	1961	POOR
KITCHEN:	N/A				
STORAGE / SERVICE:	HEAT DETECTION	NONE		1961	POOR
TOILETS:	HEAT DETECTION	NONE		1961	POOR

NOTES:

CLASSROOMS DO NOT HAVE FIRE ALARM STROBE DEVICES OR EMERGENCY LIGHTING.

ARCHITECTURAL FEASIBILITY STUDY**SECTION 15500****CENTERDALE ELEMENTARY SCHOOL****CONDITIONS, KEY CRITERIA:**

- 1 - IMMEDIATE ACTION REQUIRED
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HEATING & VENTILATION - CENTERDALE ELEMENTARY

CENTRALIZED SYSTEMS	ENERGY SOURCE	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
HEATING EQUIPMENT #1:	NAT GAS	HW BOILER	WEIL McLAIN	2007	5 GOOD
COOLING EQUIPMENT #1:	N/A	-	-	-	
EXHAUST EQUIPMENT #1:	ELECT.	ROOF FAN	-	ORIGINAL	2 POOR

DISTRUBUTION SYSTEMS	SIZE	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
HEATING DISTRUBUTION EQUIPMENT:	PUMPS (4) - 3/4 HP	INLINE	BELL & GOSSETT	ORIGINAL	2 POOR
COOLING DISTRUBUTION EQUIPMENT:	N/A	-	-	-	
AIR DISTRIBUTION EQUIPMENT:	N/A	-	-	-	

TERMINAL EQUIPMENT	TYPE	MANUFACTURER	CONTROLS	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	UV & EF	-	ELECTRONIC	ORIGINAL	2 POOR
OFFICES:	BB	-	ELECTRONIC	ORIGINAL	3 FAIR
LIBRARY:	UV & EF	-	ELECTRONIC	ORIGINAL	2 POOR
GYMNASIUM:	BB & GAS UH	-	ELECTRONIC	ORIGINAL	3 FAIR

NOTES:

- 1)BOILER WAS CONVERTED FROM OIL TO DUAL FUEL IN 2011. WEIL McLAIN 1088 3100MBH IN 2450 OUT.
- 2) NO CENTRAL COOLING. WINDOW A/C IN SELECT AREAS. PORTABLE UNITS.
- 3)CLASSROOMS HAVE ORIGINAL UVS WITH CENTRAL EXHAUST. EXHAUST GRILLE LOCATED IN CLOSETS.
- 4)BB AND CONVECTORS IN HALLWAYS, OFFICES, BATHROOMS, ETC.
- 5)GYM HAS BB AND A GAS FIRED UNIT HEATER THAT SEEMS TO HAVE BEEN ADDED AFTER THE FACT, NO VENTILATION.
- 6) CRAWLSPACE FOR PIPING.

ARCHITECTURAL FEASIBILITY STUDY

CENTERDALE ELEMENTARY SCHOOL

CONDITIONS, KEY CRITERIA:

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PLUMBING SYSTEM

SERVICE	PIPE SIZE	METER SIZE	PRESSURE REGULATOR	OPER PRESSURE	PIPE MATERIAL	SOURCE	AGE	MISCELLANEOUS
WATER:	2-1/2"	N/A	N/A	CITY	COPPER	MUNICIPAL	1961	NO METER/BFP
GAS:	2"	2"	Y	4-5" W.C.	STEEL	UTILITY	2007	

SYSTEM	PIPE MATERIAL/CONDITION	TYPE INSULATION/ CONDITION	MISCELLANEOUS
DOMESTIC COLD WATER:	COPPER/FAIR	FIBERGLASS	INFRASTRUCTURE IS ORIGINAL
DOMESTIC HOT WATER:	COPPER/FAIR	FIBERGLASS	INFRASTRUCTURE IS ORIGINAL
SANITARY WASTE & VENT:	CAST IRON/FAIR		INFRASTRUCTURE IS ORIGINAL
STORM DRAINAGE:	CAST IRON/FAIR		INFRASTRUCTURE IS ORIGINAL
GAS:	STEEL/GOOD		
NON-POTABLE (LAB) CW:	N/A		
NON-POTABLE (LAB) HW:	N/A		
ACID (LAB) WASTE & VENT:	N/A		
KITCHEN WASTE:	N/A		
TEMPERED WATER:	N/A		

EQUIPMENT	TYPE/FUEL	AGE	CONDITION	MISCELLANEOUS
DOMESTIC WATER HEATER:	ATMOSPHERIC/GAS	2007	5	BRADFORD WHITE MD.M14036
SANITARY EJECTOR PUMP:	N/A			
STORM EJECTOR PUMP:	N/A			
DOMESTIC WATER BOOSTER PUMP:	N/A			
INTERIOR KITCHEN GREASE TOP:	N/A			

ARCHITECTURAL FEASIBILITY STUDY**CENTERDALE ELEMENTARY SCHOOL****CONDITIONS, KEY CRITERIA:**

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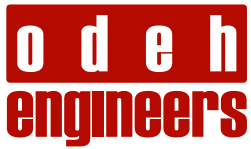
PLUMBING SYSTEM CONT.

PLUMBING FIXTURES	TYPE/ INSTALLATION	LOW CONSUMPTION/ METERING	ACCESSIBLE	CONDITION	MISCELLANEOUS
WATER CLOSET:	FLUSH VALVE	NO		2	POOR CONDITION
URINAL:	FLUSH VALVE	NO		2	POOR CONDITION
LAVATORY:	WALL HUNG RECESSED	NO		2	POOR CONDITION
DRINKING FOUNTAIN/WATER COOLER:	BUBBLER	NO		1	POOR CONDITION
CLASSROOM SINK:	SELF RIMMING	NO		3	
CLASSROOM BUBBLER / DRINKING FOUNTAIN:	N/A				
MOP SINK:	N/A			2	
SHOWERS:					

MISCELLANEOUS FIXTURES	MISCELLANEOUS
HOSE BIBB:	
WALL HYDRANT:	2
FLOOR DRAIN:	
EMERGENCY SHOWER / EYEWASH:	N/A
EMERGENCY EYEWASH:	N/A
LAB FAUCETS:	N/A
LAB GAS COCKS:	N/A

NOTES:

IN GENERAL THE PLUMBING FIXTURES ARE IN FAIR TO POOR CONDITION AND IN NEED OF REPLACEMENT. THE WASTE AND WATER PIPING INFRASTRUCTURE IS ORIGINAL TO THE BUILDING. WE WOULD EXPECT CONTINUED MAINTENANCE/REPAIR AS THE SYSTEMS CONTINUE TO AGE. THE WATER HEATERS ARE RELATIVELY NEW AND APPEAR IN GOOD WORKING CONDITION.



1223 Mineral Spring Avenue
North Providence, Rhode Island 02904

January 2, 2014

Mr. Luis Torrado
L.A. Torrado Architects
35 Greenwich Street
Providence, Rhode Island 02907

RE: Centredale Elementary School Facilities Assessment - Structural

Transmitted via email (la.torrado@verizon.net)

Dear Luis:

Per your request, this office has conducted an inspection and assessment of the structural elements of the Centredale Elementary School buildings. The following is a summary of the investigation and recommendations.

Standard of Care and Use of Report

Please note that the results of this investigation are limited to visual observations of the accessible areas of the building only. While we have made our best efforts to investigate the building structure, many conditions were concealed by architectural finishes or were otherwise inaccessible, and therefore additional damage or other unforeseen conditions not included in this report may be present. The findings of this report therefore represent our best professional opinion based on the information available to us at this time. This report is for use by L.A. Torrado Architects and the North Providence School Department to assess the existing structural condition of the Centredale Elementary School buildings.

Actions Taken

Odeh Engineers, Inc. undertook the following actions to complete this structural assessment:

- On Tuesday, December 3, 2013, Odeh Engineers' Field Engineer, Paul Wilkinson, inspected and assessed the Centredale Elementary School buildings. Where encountered, the Field Engineer documented and photographed existing deficiencies in the structural elements of the building, or potential problem areas that could lead to structural deficiencies.
- Subsequent to the site visit, the Field Engineer reviewed his observations, findings and photographs with Principal Engineer, M. David Odeh, P.E.
- Odeh Engineers has prepared this written summary of findings and recommendations.

Phone: 401.724.1771

Fax: 401.724.1981

Documents Reviewed

There were no structural drawings for the Centredale Elementary School buildings made available to Odeh Engineers at the time of authoring this structural assessment report.

Key Plan



FIGURE 1 – *This photograph is an aerial image of the Centredale Elementary School buildings. Note that north is vertically up in this image.*

Summary of Existing Conditions

The Centredale Elementary School buildings appeared to be in good structural condition with the exception of the following structural deficiencies and/or potential problem areas:

1. Water is ponding on the roofs of the buildings at several locations. (Please refer to the Photos #1 to #3 below.) **Comments and Recommendations:** *Although there was no visual evidence of structural distress, ponding of water on the roof of a building can cause the roof structure to sag due to the weight of the water. As the roof sags, more water can become entrapped in the low spot of the roof, causing additional sagging. The roof structure should be adequately pitched, or tapered insulation below the roof membrane must be installed, to allow the water to flow to the roof drains.*



PHOTO #1 – This photograph shows the water ponding on the canopy roof at the front entrance to the school building.



PHOTO #2 – This photograph shows the water ponding on the roof of the northeast wing of the building.



PHOTO #3 – *This photograph shows the water ponding on the roof of the southeast wing of the building.*

2. Some of the roof drains on the school building roofs have been purposefully blocked or have become partially blocked with debris. (Refer to Photo #4 below.) **Comments and Recommendations:** *All roof drains should be in a fully operation condition and must be cleared of debris on a regularly scheduled basis.*



PHOTO #4 – *This photograph shows one of the partially blocked drains on the roof of the Centredale Elementary School building.*

3. The rolled asphalt sheet roofing system on the roof of the Centredale Elementary School appears to be reaching the end of its useful life. The exposed surface of the asphalt sheets was cracked and blistered; "fish mouths" were observed along the seam joints; and bubbles had formed under the asphalt sheets. (Please refer to the Photos #5 to #7 below.) **Comments and Recommendations:** *A roofing consultant should be hired to appraise the condition of the roof.*



PHOTO #5 – *This photograph shows the cracking and blistering of the rolled asphalt sheet roofing on the Centredale Elementary School building.*



PHOTO #6 – *This photograph shows one of the "fish mouths" along one of the rolled roofing sheet joints.*



PHOTO #7 – *This photograph shows the cracking of the surface and the bubble under the rolled asphalt sheet roofing.*

4. Some of the brick mortar joints in the Boiler Room chimney extending above the roof of the building have deteriorated. (Please refer to the Photos #8 and #9 below.)
Comments and Recommendations: *The deteriorated chimney brick mortar joints should be raked and repointed to assure the long-term performance of the chimney.*

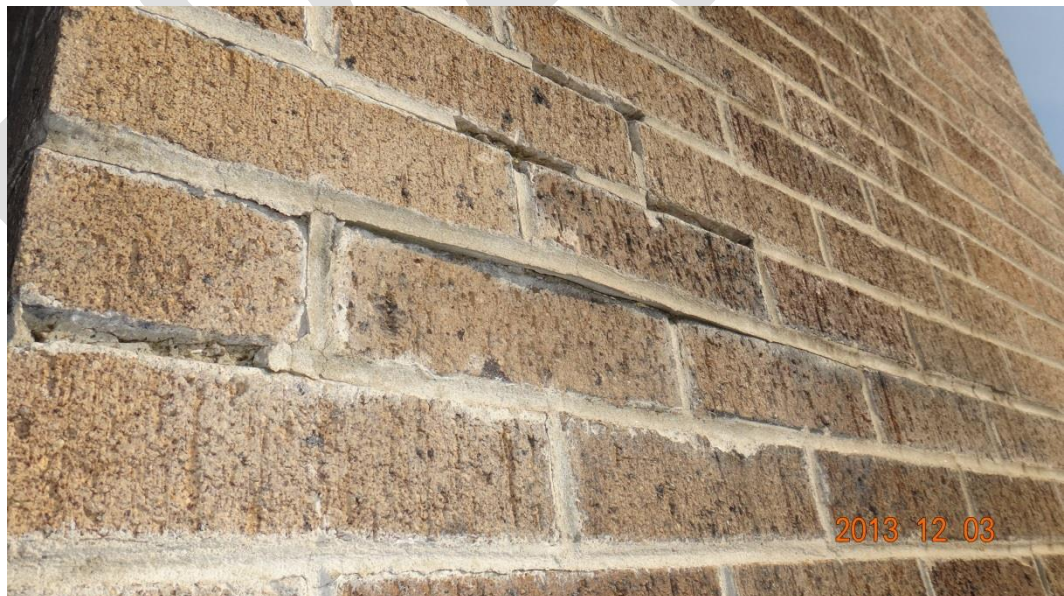


PHOTO #8 – *This photograph shows some of the chimney brick mortar joints that require repointing.*

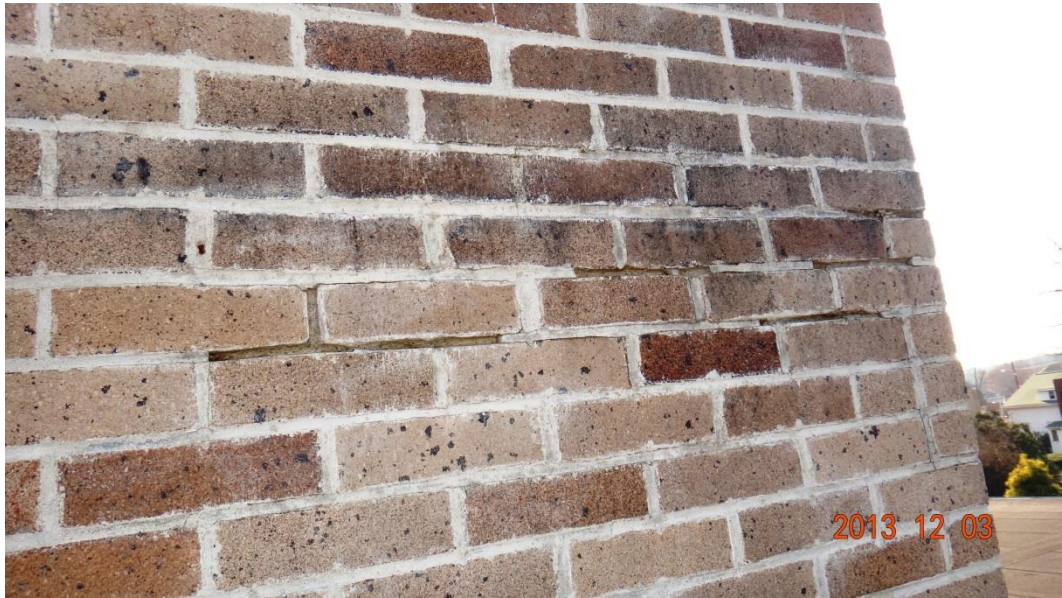


PHOTO #9 – *This photograph shows some more of the brick mortar joints in the chimney above the roof of the Centredale Elementary School building that require raking and repointing.*

We trust that this report meets your needs at this time. Should you wish to proceed with a more detailed study or design, Odeh Engineers would be pleased to provide these additional services for the project. In the meantime, please do not hesitate to contact this office if you have any questions or require additional information.

Sincerely,

A handwritten signature in black ink, appearing to read 'M. David Odeh'.

M. David Odeh, P.E.
Principal

A handwritten signature in black ink, appearing to read 'Paul Wilkinson'.

Paul Wilkinson
Field Engineer



North Providence Fire Department

1951 Mineral Spring Avenue North Providence, R.I. 02904

Phone: 231-8505 Ext. 304 Fax: 233-1460 E-Mail: firemarshal@northprovidenceri.gov

August 16, 2013

Melinda Smith, Superintendent of Schools
2240 Mineral Spring Avenue
North Providence, RI 02911

RE: Centredale Elementary School

Superintendent Smith,

The following is a list of violations which were discovered during our annual inspection of Centredale Elementary School, 41 Angell Ave.

1. The interior finish of the wood paneling in the following locations shall be treated with a class A or B finish.
 - a. The area surrounding the main office
 - b. The entire library
2. The glass enclosure around the main office reduces the rating of the hallway below the required 1/2 hr
3. Classroom 2 has a sign for a fire extinguisher but no extinguisher. Either the sign needs to come down or an extinguisher shall be added.
4. There is excessive storage of combustibles in the boiler room
5. Exit Signs are broken, or missing in the following locations;
 - a. The girls bathroom Emergency lighting is broken
 - b. The boys bathroom does not have emergency lighting
6. The regular lighting over the egress doors are in need of repair or replacement.
7. There is no emergency lighting over the exit doors.
8. The following doors need repair;
 - a. The door leading to class room 1 has Plexiglas in the vision panel
 - b. Any other doors with Plexiglas in the vision panel shall be changed to tempered glass.
9. The existing fire alarm system does not meet the code and shall be repaired as necessary
 - a. There are at least two different types of Horn/ Strobes or horn lights throughout the building. There can only be one type and they shall all be synchronized.

10. An exit inspection program as well as an emergency light/exit sign inspection program shall be implemented. A log book documenting these programs shall be provided. There are multiple Exit sign batteries that are dead as well as emergency lighting throughout the building that are out.

I believe a lot of this can be addressed prior to the upcoming start of school. Whatever cannot be taken care of will be put into a violation letter with provisions to go to the RI Fire Code Board of Appeal and Review for time extensions.

Respectfully Submitted,

A handwritten signature in cursive script, appearing to read "Lt. John P. Horan", written over a horizontal line.

Lt. John P. Horan
Fire Marshal

17.13.4.6 Items (1) through (4) shall be made available to the authority having jurisdiction at the time of the acceptance test:

- (1) Evidence of the prototype test as specified in 5.2.1.2 (for Level 1 systems)
- (2) A certified analysis as specified in 5.6.10.2
- (3) A letter of compliance as specified in 5.6.10.5
- (4) A manufacturer's certification of a rated load test at rated power factor with the ambient temperature, altitude, and fuel grade recorded

GENERATOR

EPSS = Emergency Power Supply System

Chapter 8 Routine Maintenance and Operational Testing

8.1* General.

8.1.1 The routine maintenance and operational testing program shall be based on all of the following:

- (1) Manufacturer's recommendations
- (2) Instruction manuals
- (3) Minimum requirements of this chapter
- (4) The authority having jurisdiction

8.1.2 Consideration shall be given to temporarily providing a portable or alternate source whenever the emergency generator is out of service.

8.2* Manuals, Special Tools, and Spare Parts.

8.2.1 At least two sets of instruction manuals for all major components of the EPSS shall be supplied by the manufacturer(s) of the EPSS and shall contain the following:

- (1) A detailed explanation of the operation of the system
- (2) Instructions for routine maintenance
- (3) Detailed instructions for repair of the EPS and other major components of the EPSS
- (4) An illustrated parts list and part numbers
- (5) Illustrated and schematic drawings of electrical wiring systems, including operating and safety devices, control panels, instrumentation, and annunciators

8.2.2 For Level 1 systems, instruction manuals shall be kept in a secure, convenient location, one set near the equipment, and the other set in a separate location.

8.2.3 Special tools and testing devices necessary for routine maintenance shall be available for use when needed.

8.2.4 Replacement for parts identified by experience as high mortality items shall be maintained in a secure location(s) on the premises.

8.2.4.1 Consideration shall be given to stocking spare parts as recommended by the manufacturer.

8.3 Maintenance and Operational Testing.

8.3.1* The EPSS shall be maintained to ensure to a reasonable degree that the system is capable of supplying service within the time specified for the type and for the time duration specified for the class.

8.3.2 A routine maintenance and operational testing program shall be initiated immediately after the EPSS has passed acceptance tests or after completion of repairs that impact the operational reliability of the system.

8.3.2.1 The operational test shall be initiated at an ATS and shall include testing of each EPSS component on which maintenance or repair has been performed, including the transfer of each automatic and manual transfer switch to the alternate power source, for a period of not less than 30 minutes under operating temperature.

8.3.3 A written schedule for routine maintenance and operational testing of the EPSS shall be established.

8.3.4 A permanent record of the EPSS inspections, tests, exercising, operation, and repairs shall be maintained and readily available.

8.3.4.1 The permanent record shall include the following:

- (1) The date of the maintenance report
- (2) Identification of the servicing personnel
- (3) Notation of any unsatisfactory condition and the corrective action taken, including parts replaced
- (4) Testing of any repair for the time as recommended by the manufacturer

8.3.5* Transfer switches shall be subjected to a maintenance and testing program that includes all of the following operations:

- (1) Checking of connections
- (2) Inspection or testing for evidence of overheating and excessive contact erosion
- (3) Removal of dust and dirt
- (4) Replacement of contacts when required

8.3.6 Paralleling gear shall be subject to an inspection, testing, and maintenance program that includes all of the following operations:

- (1) Checking of connections
- (2) Inspection or testing for evidence of overheating and excessive contact erosion
- (3) Removal of dust and dirt
- (4) Replacement of contacts when required

8.3.7* Storage batteries, including electrolyte levels or battery voltage, used in connection with systems shall be inspected weekly and maintained in full compliance with manufacturer's specifications.

8.3.7.1 Maintenance of lead-acid batteries shall include the monthly testing and recording of electrolyte specific gravity. Battery conductance testing shall be permitted in lieu of the testing of specific gravity when applicable or warranted.

8.3.7.2 Defective batteries shall be replaced immediately upon discovery of defects.

8.3.8 A fuel quality test shall be performed at least annually using tests approved by ASTM standards.

8.4 Operational Inspection and Testing.

8.4.1* EPSSs, including all appurtenant components, shall be inspected weekly and exercised under load at least monthly.

8.4.1.1 If the generator set is used for standby power or for peak load shaving, such use shall be recorded and shall be permitted to be substituted for scheduled operations and testing of the generator set, providing the same record as required by 8.3.4.

8.4.2* Diesel generator sets in service shall be exercised at least once monthly, for a minimum of 30 minutes, using one of the following methods:

- (1) Loading that maintains the minimum exhaust gas temperatures as recommended by the manufacturer
- (2) Under operating temperature conditions and at not less than 30 percent of the EPS nameplate kW rating

8.4.2.1 The date and time of day for required testing shall be decided by the owner, based on facility operations.

8.4.2.2 Equivalent loads used for testing shall be automatically replaced with the emergency loads in case of failure of the primary source.

8.4.2.3 Diesel-powered EPS installations that do not meet the requirements of 8.4.2 shall be exercised monthly with the available EPSS load and shall be exercised annually with supplemental loads at not less than 50 percent of the EPS nameplate kW rating for 30 continuous minutes and at not less than 75 percent of the EPS nameplate kW rating for 1 continuous hour for a total test duration of not less than 1.5 continuous hours.

8.4.2.4 Spark-ignited generator sets shall be exercised at least once a month with the available EPSS load for 30 minutes or until the water temperature and the oil pressure have stabilized.

8.4.2.4.1 The date and time of day for required testing shall be decided by the owner, based on facility operations.

8.4.2.4.2 Equivalent loads used for testing shall be automatically replaced with the emergency loads in case of failure of the primary source.

8.4.3 The EPS test shall be initiated by simulating a power outage using the test switch(es) on the ATSS or by opening a normal breaker. Opening a normal breaker shall not be required.

8.4.4 Load tests of generator sets shall include complete cold starts.

8.4.5 Time delays shall be set as follows:

- (1) Time delay on start:
 - (a) 1 second minimum
 - (b) 0.5 second minimum for gas turbine units
- (2) Time delay on transfer to emergency: no minimum required
- (3) Time delay on restoration to normal: 5 minutes minimum
- (4) Time delay on shutdown: 5 minutes minimum

8.4.6 Transfer switches shall be operated monthly.

8.4.6.1 The monthly test of a transfer switch shall consist of electrically operating the transfer switch from the standard position to the alternate position and then a return to the standard position.

8.4.7* EPSS circuit breakers for Level 1 system usage, including main and feed breakers between the EPS and the transfer switch load terminals, shall be exercised annually with the EPS in the "off" position.

8.4.7.1 Circuit breakers rated in excess of 600 volts for Level 1 system usage shall be exercised every 6 months and shall be tested under simulated overload conditions every 2 years.

8.4.8 The routine maintenance and operational testing program shall be overseen by a properly instructed individual.

8.4.9* Level 1 EPSS shall be tested at least once within every 36 months.

8.4.9.1 Level 1 EPSS shall be tested continuously for the duration of its assigned class (see Section 4.2).

8.4.9.2 Where the assigned class is greater than 4 hours, it shall be permitted to terminate the test after 4 continuous hours.

8.4.9.3 The test shall be initiated by operating at least one transfer switch test function and then by operating the test function of all remaining ATSSs, or initiated by opening all switches or breakers supplying normal power to all ATSSs that are part of the EPSS being tested.

8.4.9.4 A power interruption to non-EPSS loads shall not be required.

8.4.9.5 The minimum load for this test shall be as specified in 8.4.9.5.1, 8.4.9.5.2, or 8.4.9.5.3.

8.4.9.5.1 For a diesel-powered EPS, loading shall be not less than 30 percent of the nameplate kW rating of the EPS. A supplemental load bank shall be permitted to be used to meet or exceed the 30 percent requirement.

8.4.9.5.2 For a diesel-powered EPS, loading shall be that which maintains the minimum exhaust gas temperatures as recommended by the manufacturer.

8.4.9.5.3 For spark-ignited EPSs, loading shall be the available EPSS load.

8.4.9.6 The test required in 8.4.9 shall be permitted to be combined with one of the monthly tests required by 8.4.2 and one of the annual tests required by 8.4.2.3 as a single test.

8.4.9.7 Where the test required in 8.4.9 is combined with the annual load bank test, the first 3 hours shall be at not less than the minimum loading required by 8.4.9.5 and the remaining hour shall be at not less than 75 percent of the nameplate kW rating of the EPS.

Annex A Explanatory Material

Annex A is not a part of the requirements of this NFPA document but is included for informational purposes only. This annex contains explanatory material, numbered to correspond with the applicable text paragraphs.

A.1.1.4 See NFPA 111, *Standard on Stored Electrical Energy Emergency and Standby Power Systems*.

A.1.1.5(3) See Chapter 4.

A.3.2.1 Approved. The National Fire Protection Association does not approve, inspect, or certify any installations, procedures, equipment, or materials; nor does it approve or evaluate testing laboratories. In determining the acceptability of installations, procedures, equipment, or materials, the authority having jurisdiction may base acceptance on compliance with NFPA or other appropriate standards. In the absence of such standards, said authority may require evidence of proper installation, procedure, or use. The authority having jurisdiction may also refer to the listings or labeling practices of an organization that is concerned with product evaluations and is thus in a position to determine compliance with appropriate standards for the current production of listed items.

A.3.2.2 Authority Having Jurisdiction (AHJ). The phrase "authority having jurisdiction," or its acronym AHJ, is used in NFPA documents in a broad manner, since jurisdictions and approval agencies vary, as do their responsibilities. Where public safety is primary, the authority having jurisdiction may be a

“AHERA”
ASBESTOS
RE-INSPECTION & MANAGEMENT PLAN

JANUARY 2013

at the:

**CENTREDALE
ELEMENTARY SCHOOL**

41 Angel Avenue
North Providence, RI 02911

For:

Armand Milazzo
Director of Non-Instructional Services
North Providence Public Schools

Submitted by:



John Carbone [RIDOH # 177 IS / MP]

VORTEX Inc.
3670 West Shore Road
Warwick, RI 02886

1-800-VORTEXX

X Main copy

____ School copy

INTRODUCTION

Vortex, Inc. conducted a 3 year Re-inspection of friable and non-friable asbestos-containing building material(s) (ACBM) and "presumed" asbestos-containing building material(s) (PACM) at **Centredale Elementary School, North Providence, Rhode Island**. This Reinspection was performed in accordance with 40 CFR Part 763.85, AHERA FINAL RULE. This Reinspection was approved by the School's Local Education Agencies (LEA) (Armand Milazzo). This inspection was conducted on **January 31, 2013** by John Carbone from Vortex Inc. (RIDOH Asbestos Consultant Certificate #177 IS / MP).

The inspection was conducted in accordance with the AHERA Regulations. Original inspection reports as well as Re-inspection reports were utilized to ascertain the locations of the pre-assessed asbestos-containing building materials and all functional/accessible areas of the school building. These areas included; classrooms, utility closets, janitor's closets, above drop ceilings, and crawlspaces...etc. Building plans and reports were obtained through the school. The identified asbestos-containing building materials are denoted on the asbestos hazard inspection forms for further reference.

Assessment of the previously identified (original AHERA inspection and/or subsequent re-inspections) asbestos-containing materials consists of the information collected during the inspection portion of this project and the potential for the material to become damaged or significantly damaged. The assessment includes the following considerations; deteriorated condition, the friability of the material, vibration, water damage, air erosion, changes in the accessibility of the ACBM, new damage or increased damage to the ACBM, increase or decrease on the potential for significant damage or damage.

INSPECTION

The AHERA Re-inspection evaluation was conducted at **Centredale Elementary School on January 31, 2013**. At least once every 3 years after a management plan is in effect, each local education agency (LEA) shall have a Re-inspection evaluation performed by accredited and state certified individual(s). This Reinspection shall consist of all friable and nonfriable, known or assumed ACBM in each school building that they lease, own, or otherwise use as a school building. For each area of the school buildings, the inspector conducted the following assessment criteria:

- 1) Visually reinspect and reassess the condition of all known or assumed ACBM/PACM.
- 2) Visually inspected the material that was previously considered non-friable ACBM/PACM and touched the materials to determine whether it has become friable since the last Re-inspection.
- 3) Identified any homogenous areas with material that has become friable since the last Re-inspection.
- 4) For each homogenous area of newly friable material that is already assumed to be ACBM, bulk material samples were collected and submitted for asbestos analysis by a RI DOH certified laboratory.

5) Assessed the condition of the newly friable material in areas where samples were collected and newly friable materials that are assumed to be ACBM. *Suspect ACM bulk material sampling/analysis was not performed as part of this re-inspection and shall remain assumed to contain asbestos.*

6) Reassessed the condition of the friable, known or assumed ACBM previously identified.

7) Recorded the previous information for the submittal of this AHERA Re-inspection report and management plan.

Vortex, Inc. inspecting personnel utilized the original and the subsequent Re-inspection reports for this school building. This aided the inspection process and evaluation as to the location, amount, and former condition of the previously assessed asbestos-containing material(s) within the building. This management plan reports on all pre-assessed asbestos containing materials within the building whether there is a physical change or not. Refer to attached Chart of ACBM and PACM for homogeneous areas.

ASSESSMENT

The previously identified asbestos-containing building material was identified within its current condition and assessed as to the potential for damage or significant damage. If previously assumed asbestos-contained material is observed to be friable and/or damaged, bulk material sample(s) shall be collected/analyzed for asbestos content. The previously identified asbestos-containing material were classified and categorized to determine the appropriate response actions. The identified, assumed, or suspect asbestos-containing building materials are homogenized under one (1) of the three (3) types of asbestos-containing building materials. They are either:

- 1) Thermal System Insulation
- 2) Surfacing Materials, and/or
- 3) Miscellaneous materials and insulation's

RECOMMENDED RESPONSE ACTIONS

Condition classifications of the asbestos containing building materials are utilized to help the inspector designate a response action in accordance with the AHERA Regulations per 40 CFR 763.88(b) to include:

- 1) Damaged or significantly damaged thermal system insulation*
- 2) Damaged friable surfacing ACM*
- 3) Significantly damaged friable surfacing ACM*
- 4) Damaged or significantly damaged friable miscellaneous ACM*
- 5) ACBM with potential for damage.*
- 6) ACBM with potential for significant damage*
- 7) Any remaining friable ACBM or friable suspect ACBM*

RESPONSE ACTION KEYS USED WITHIN ATTACHED CHARTS

Key #	THERMAL INSULATION [T]
1	Isolate area and restrict access. Abate as soon as possible.
2	Continue O&M. Repair or remove as soon as possible, or reduce potential for disturbance.
3-5	Repair, Continue O&M. Number indicates priority if all cannot be done immediately.
6-7	Continue O&M. Take preventative measures to reduce disturbance. Number indicates priority for removal.
8	Continue O&M until major renovation or demolition requires removal under NESHAP's or until hazard factors change.

Key #	SURFACING MATERIALS [S]
1	Isolate area and restrict access. Abate as soon as possible.
2	Continue O&M. Repair or remove as soon as possible, or reduce potential for disturbance.
3	Continue O&M. Schedule removal when practical and cost-effective or reduce disturbance.
4-5	Continue O&M. Schedule removal when practical and cost effective. Number indicates priority for removal.
6-7	Continue O&M. Take preventative measures to reduce disturbance. Number indicates priority for removal.
8	Continue O&M until major renovation or demolition requires removal under NESHAP's or until hazard factors change.

Key #	MISCELLANEOUS MATERIALS [M]
1	Isolate area and restrict access. Abate as soon as possible.
2	Continue O&M. Repair or remove as soon as possible, or reduce potential for disturbance.
3	Continue O&M. Schedule removal when practical and cost-effective or reduce disturbance.
4-5	Continue O&M. Schedule removal when practical and cost effective. Number indicates priority for removal.
6-7	Continue O&M. Take preventative measures to reduce disturbance. Number indicates priority for removal.
8	Continue O&M until major renovation or demolition requires removal under NESHAP's or until hazard factors change.

TYPES OF ACM PRESENT

Refer to the original AHERA and subsequent/attached Re-Inspection Reports for PACM and ACBM locations.

In summary, Vortex Inc. conducted the required three (3) year AHERA Re-inspection at **Centredale Elementary School**. As a results of this Re-inspection, the following materials were observed and determined to be in need of repair and/or removal or changes since the most recent AHERA Re-inspection included:

REFER TO ATTACHED CHART OF ACM

PHYSICAL ASSESSMENT

THE REMAINING ACBM OR PACM WITHIN THIS SCHOOL BUILDING WAS INTACT AND IN GOOD CONDITION AT THE TIME OF THE RE-INSPECTION.

OUTSIDE CONTRACTORS

Prior to any outside contractor performing work that May disturb/impact the ACM or PACM building components (pipes, wall plasters, etc.) throughout this school building, they shall be informed (by the LEA) about the suspect material locations. The LEA shall collect/analyze (by a RIDOH licensed Asbestos Inspector) these materials to determine if they contain asbestos (>1%). All lab reports shall be inserted into the AHERA Management Planner book. If lab results confirm the material to contain asbestos, then a RI licensed contractor or competent person (<3') shall remove the ACM prior to repairs/renovation activities. In any event, the contractor shall complete the attached form **OUTSIDE CONTRACTOR - ACKNOWLEDGEMENT STATEMENT FORM** and it shall be inserted into the Management Planner.

STEPS TO INFORM BUILDING OCCUPANTS / GUARDIANS

Workers and building occupants, or their legal guardians shall be informed about Re-inspections, response actions, and post-response action activities, including periodic Re-inspection and surveillance activities that are planned or in progress through postings in the teachers lunch room and information sent home in the annual AHERA Notification letter sent out in early September of each year.

AHERA - ASBESTOS RE-INSPECTION OF ACM & PACM

Vortex Inc. Page 1 of 2

CENTERDALE ELEMENTARY SCHOOL

Reinspection Date: 1/31/13

NORTH PROVIDENCE SCHOOL DEPARTMENT

		INSPECTION FINDINGS FOR ACM & PACM																Initials of Surveillance Inspector														
		Type and Quantity																														
		FLOOR COVERING (NF)						CEILING TYPE (F)				Response Action					6 MONTH SURVEILLANCES															
		9" x 9" floor tile	12"x12" floor tile	WOOD	concrete	ceramic	carpet	WOOD	1' x 1'	2' x 4'	FIBER BOARD	Wall Material	FRIABLE	DAMAGED	ACCESS	POTENT. DAMAGE	RESPONSE	7/13	1/14	7/14	1/15	7/15										
Location of ACBM	Floor																															
		MISC.	MISC.			MISC.			MISC.	MISC.	MISC.	SURFACE																				
PRINCIPAL	1	200	120							320		BL/PL	N	N	Y	X	M8															
RECEPTION	1	140								140		T	N	N	Y	X	M8															
BACK OFFICE	1	270								270		BL	N	N	Y	X	M8															
ENTRANCE	1	208								208		BR	N	N	Y	X	M8															
FOYER	1	150								150		BR	N	N	Y	X	M8															
GYM	1			2400				2400				BL	N	N	Y	X	M8															
STORAGE	1	160								160		BL	N	N	Y	X	M8															
STORAGE 1	1	160										BL	N	N	Y	X	M8															
STORAGE 2	1	160								160		BL	N	N	Y	X	M8															
KITCHEN	1	400										BL	N	N	Y	X	M8															
COMPUTER	1	200								200		BL/PN	N	N	Y	X	M8															
GUIDANCE	1	150								150		BL	N	N	Y	X	M8															
FRONT GUIDANCE	1	100								100		BL	N	N	Y	X	M8															
HALL	1	3000								3000		BL	N	N	Y	X	M8															
RM 11	1	900									900	BL	N	N	Y	X	M8															
RM 12	1	360									360	BL	N	N	Y	X	M8															
SUPPLIES	1	60									60	BL	N	N	Y	X	M8															
RM 10	1	900									900	BL	N	N	Y	X	M8															
RM 13	1	900									900	BL	N	N	Y	X	M8															
RM 9	1										900	BL	N	N	Y	X	M8															
RM 14	1	900									900	BL	N	N	Y	X	M8															
TEACHERS LOUNGE	1	450									450	BL	N	N	Y	X	M8															
RM 8	1	900									900	BL	N	N	Y	X	M8															
HALL	1	3000								3000		BL	N	N	Y	X	M8															
NURSE	1	400									400	BL	N	N	Y	X	M8															
UNISEX	1					60						T/BL	N	N	Y	X	M8															

INSPECTION FINDINGS FOR ACM & PACM													Response Action					Vortex Inc. Page 2 of 2				
																		Initials of Surveillance Inspector				
																		6 MONTH SURVEILLANCES				
Location of ACBM	Floor	9" x 9" floor tile	12"x12" floor tile	WOOD	concrete	ceramic	carpet	WOOD	1' x 1'	2' x 4'	FIBER BOARD	Wall Material	FRIABLE	DAMAGED	ACCESS	POTENT. DAMAGE	RESPONSE	7/13	1/14	7/14	1/15	7/15
		MISC.	MISC.			MISC.			MISC	MISC.	MISC.	SURFACE										
RM 1	1	600									600	BL	N	N	Y	X	M8					
RM 7	1	900									900	BL	N	N	Y	X	M8					
RM 2	1	900									900	BL	N	N	Y	X	M8					
RM 6	1	900									900	BL	N	N	Y	X	M8					
RM 3	1	900									900	BL	N	N	Y	X	M8					
RM 5	1	900									900	BL	N	N	Y	X	M8					
RM 4	1	900									900	BL	N	N	Y	X	M8					
HALL ENTRANCE	1	100									100	BL	N	N	Y	X	M8					
BOYS	1					200					200	BL	N	N	Y	X	M8					
GIRLS	1					200					200	BL	N	N	Y	X	M8					
JANITOR	1	60									60	BL	N	N	Y	X	M8					
SPEECH	1	200									200	BL	N	N	Y	X	M8					
SPEECH HALL	1	80									80	BL	N	N	Y	X	M8					

Code: N = NO; Y = YES; T = THERMAL; S = SURFACING; M = MISCELLANEOUS
NC = NO CHANGE; R = REPAIRED; D = DAMAGED

Asbestos Inspector: John Carbone
License Number: 177IS Expires 3/31/13

Management Planner: John Carbone
License Number: 177MP Expires 3/31/13

I, the LEA's Designated Person, have read and understood the recommendations made above:

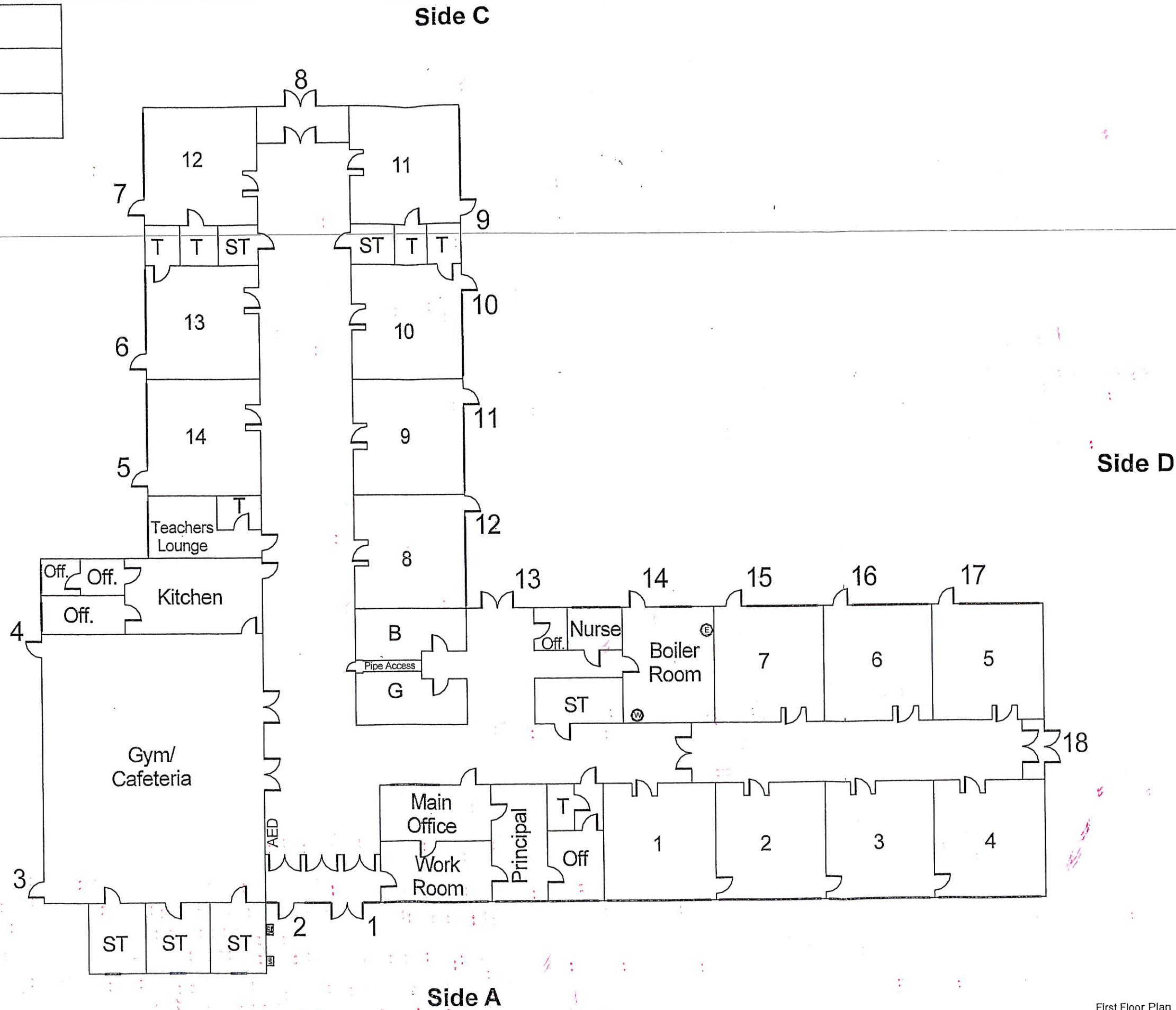
Date: 1/31/13

District:	North Providence Public Schools
Building Name:	Centredale Elementary School
Address:	41 Angell Avenue North Providence, RI 02911

First Floor

Side B

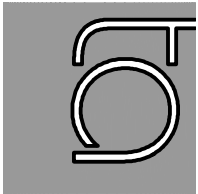
- Legend
- ST Storage
 - C Custodial
 - M/W Mens' / Womens' Rooms
 - B/G Boys' / Girls' Rooms
 - R Ramp
 - Camera
 - Electrical Shutoff
 - w Water Shutoff
 - Gas Shutoff
 - Fire Alarm Control Panel
 - Knox-Box



GREYSTONE ELEMENTARY SCHOOL

100 MORGAN AVENUE, NORTH PROVIDENCE, RI 02911

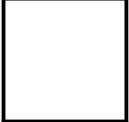




TORADO
ARCHITECTS

28 GREENWICH ST.
PROVIDENCE, RI 02907
401.781.0555 P
401.781.0561 F

KEY PLAN



RENOVATIONS TO:

**NORTH
PROVIDENCE
PUBLIC
SCHOOLS**

**FACILITY
ASSESSMENT
PROJECT 2013**

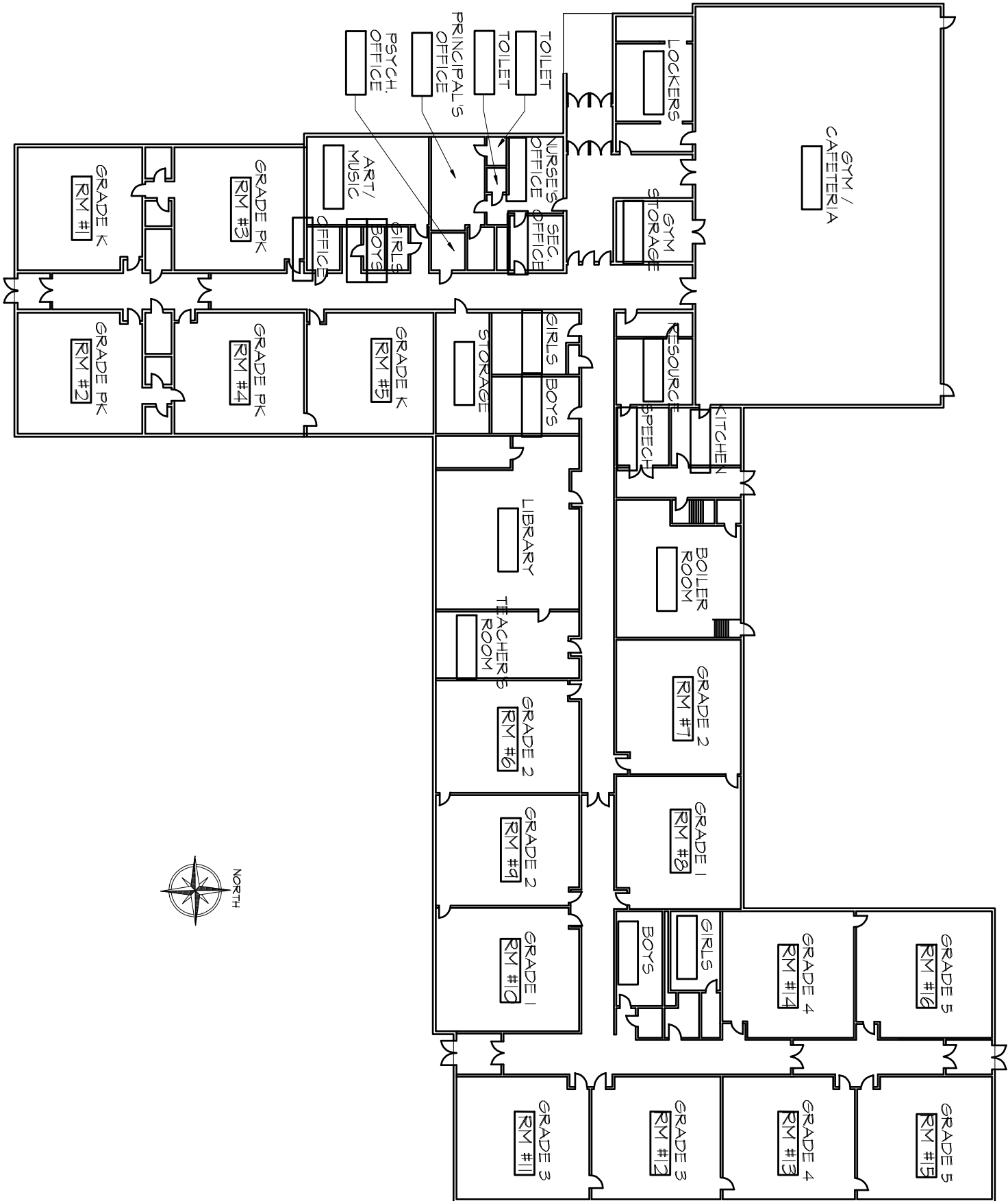
**GREYSTONE
ELEMENTARY
SCHOOL**

100 MORGAN AVENUE
NORTH PROVIDENCE RI 02901

DATE	REV.	DESCRIPTION
REVISIONS		

DATE	06 JANUARY 2014
DRAWN BY	P.M.
CHECKED BY	AS NOTED
	L.T.

A|.OGG



1 FIRST FLOOR PLAN
Scale: 3/32" = 1'-0"

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CAPACITY ANALYSIS						
NORTH PROVIDENCE PUBLIC SCHOOLS						
GREYSTONE SCHOOL				PRE K-5 GRADE		
Room Number	Use		Size Sq.Ft.	Room Capacity Teacher Contract	Code Capacity	Size per Ride
	Current Use	Room				
Main Level						
1	Grade K	Classroom	735	20	36	1,200
2	Grade PK	Classroom	735	20	36	1,200
3	Grade PK	Classroom	770	20	38	1,200
4	Grade PK	Classroom	770	20	38	1,200
5	Grade K	Classroom	740	20	37	1,200
6	Grade 2	Classroom	775	20	38	950
7	Grade 2	Classroom	800	20	40	950
8	Grade 1	Classroom	800	20	40	950
9	Grade 2	Classroom	765	20	38	950
10	Grade 1	Classroom	850	20	42	950
11	Grade 3	Classroom	780	20	39	950
12	Grade 3	Classroom	760	20	38	950
13	Grade 4	Classroom	780	25	39	950
14	Grade 4	Classroom	795	25	39	950
15	Grade 5	Classroom	800	25	40	950
16	Grade 5	Classroom	820	25	41	950
	Office	Office	70			1,500
	Boys	Lavatory	45			
	Girls	Lavatory	45			
	Art	Classroom	525			1,150
	MUSIC	CLASSROOM	525			1,350
	PSYCH	OFFICE	60			
	PRINCIPALS	OFFICE	240			
	TOILET	LAVATORY	25			
	TOILET	LAVATORY	25			
	NURSES	OFFICE	200			510
	SECRETARY	OFFICE	140			
	STORAGE		320			400
	GIRLS	LAVATORY	245			
	BOYS	LAVATORY	245			
	GYM/CAFETERIA		4,785		319	2,925
	GYM STORAGE		225			
	LOCKERS		495			
	RESOURCE		245			
	SPEECH		150	10	7	
	KITCHEN		200			
	BOILER ROOM		750			
	LIBRARY		1,070			
		SUBTOTAL	23,105	350		
	TOTAL BUILDING SQ.FT.	30835				
	CURRENT ENROLLMENT:	342				
	TOTAL CAPACITY:	350	X 95% = 332			
	95% UTILIZATION	332				
	SQ. FT. PER STUDENT:	92	(AT CAPACITY)			
		90	(AT CURRENT ENROLLMENT)			

Greystone Elementary School



ART ROOM ACCESS



BOYS 5 (2)



BOYS 5



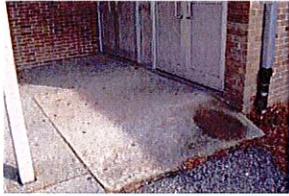
BOYS 7 (2)



BOYS 7 (3)



BOYS 7



ENTRANCE



GIRLS 6 (2)



GIRLS 6



GIRLS 8 (2)



GIRLS 8



IMG_5605



IMG_5606



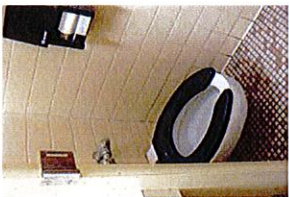
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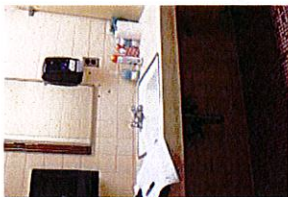
IMG_5612



IMG_5635



MEN 3 (2)



MEN 3



ROOF (2)



ROOF (3)



ROOF (4)



ROOF (5)



ROOF (6)



ROOF (7)



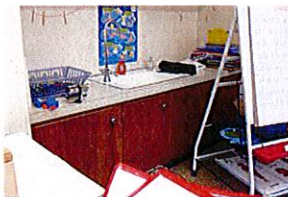
ROOF (8)



ROOF



RR2



SINK COUNTER (2)



SINK COUNTER



SITE (2)



SITE (3)



SITE (4)



SITE (5)



SITE (6)



SITE (7)

Greystone Elementary School



SITE



WINDOW



WOMAN 3 (2)



WOMAN 3

ARCHITECTURAL FEASIBILITY STUDY

GREYSTONE ELEMENTARY SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
- 3 - ACTION REQUIRED 4-5 YEARS
- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

GENERAL INFORMATION

NAME OF SCHOOL: GREYSTONE ELEMENTARY SCHOOL

PRINCIPAL: LORI J. DESIMONE

ADDRESS: 100 MORGAN AVENUE, NORTH PROVIDENCE RI 02911

OWNER: NORTH PROVIDENCE SCHOOL DEPARTMENT

GRADE LEVELS: PK THROUGH 5

STUDENT POPULATION: 342

STUDENT CAPACITY: 332

YEAR CONSTRUCTED: 1966

ADDITIONS: N/A

CONSTRUCTION DATA:

STATE BUILDING CODE / CONSTRUCTION TYPE	
ORIGINAL BUILDING:	IIB CMU BRICK STEEL FRAME
FIRST ADDITION:	N/A
SECOND ADDITION:	N/A
OCCUPANCY GROUP:	E
SUB - BASEMENT:	N/A
BASEMENT:	N/A
GRADE LEVEL:	PK R 1,2,3,4,5
SECOND FLOOR:	N/A
THIRD FLOOR:	N/A

NUMBER OF STORIES	
ORIGINAL BUILDING:	1
FIRST ADDITION:	N/A
SECOND ADDITION:	N/A

ARCHITECTURAL FEASIBILITY STUDY**GREYSTONE ELEMENTARY SCHOOL****CONDITIONS, KEY CRITERIA:**

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
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- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

INTERIOR FINISHES

	FLOOR FINISH	CONDITIONS	WALL FINISH	CONDITIONS	CEILING FINISH	CONDITIONS
TYPICAL CLASSROOMS	VCT/ATC	2	CT/PTD	3	SAT	1
GYM	WD	3	CMU/PTD	3	PTD	3
GYM LOCKER ROOMS						
LOCKER ROOMS						
AUDITORIUM						
CAFETERIA	SAME AS GYM					
LIBRARY						
OFFICES	VCT/ATC	2	PTD	3	SAT	1
TEACHER LOUNGE	VCT/ATC	2	PTD	3	SAT	1
TOILETS	CT	2	CT/CMU	2	SAT	1
CORRIDORS	VCT/ATC	2	CMU/PTD	2	SAT	1
LOBBIES	VCT/ATC	2	CMU/PTD	2	SAT	1
VESTIBULE	VCT/ATC	2	CMU/PTD	2	SAT	1
STAIRS						
KITCHEN	SEE GYM					
MECHANICAL/SERVICE	CONC	2	CMU	3	N/A	

INTERIOR ELEMENTS

	MATERIAL	CONDITION	REMARKS
INTERIOR DOORS	WD/MTL	2	
HARDWARE	SOME NEW	2	CLASSROOM LOCKDOWN
TOILET STALLS	MTL	2	
CUBBIES	OPEN	2	
COUNTER/CABINETS	PL	2	
TEACHERS WARDROBE	WD	2	

ABBREVIATIONS

SAT	SUSPENDED ACOUSTICAL TILE	CONC	CONCRETE
VCT	VINYL COMPOSITE TILE	CMU	CONCRETE MASONRY UNIT
ACT	ASBESTOS COMPOSITE TILE	GYP BD	GYPSUM BOARD
CT	CERAMIC TILE	PTD	PAINTED
PL	PLASTIC LAMINATE	BIT	BITUMINOUS PAVING
WD	WOOD	ALUM	ALUMINUM
MTL	METAL	N/A	NOT APPLICABLE
		RT	RUBBER TILE

ARCHITECTURAL FEASIBILITY STUDY**GREYSTONE ELEMENTARY SCHOOL****CONDITIONS, KEY CRITERIA:**

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PROVISIONS FOR ACCESSIBILITY

EXTERIOR ACCESSIBLE ROUTE	
ACCESSIBLE ROUTE:	

	COMPLIANCE	REMARKS
PRIMARY ENTRANCE:	NO	30" OPENING
EXTERIOR/ EGRESS DOORS:	NO	30" OPENING
SIGNAGE:	NO	

INTERIOR ACCESSIBLE ROUTE	COMPLIANCE	REMARKS
ACCESSIBLE ROUTE:	NO	30" CROSS CORRIDOR DOORS
ENTRANCE VESTIBULES:	NO	NO LEVEL PLATFORM
SIGNAGE:	NO	
OFFICES:	NO	NO ADA COUNTER
LIBRARY:	NO	NO ADA COUNTER
AUDITORIUM	-	-
CAFETERIA:	-	-
CROSS- CORRIDOR:	NO	30"
STAIRS:		
HARDWARE:	SOME	
TEACHERS ROOM	NO	NO SIDE DOOR CLEARANCE
GYMNASIUM:	N/A	
LOCKER ROOM:	N/A	
CLASSROOM DOORS:	NO	NO SIDE DOOR CLEARANCE
DRINKING FOUNTAINS	NO	
CLASSROOM SINKS:	NO	

CONDITIONS				
VERTICAL ACCESS:	N/A			
(ELEVATORS / LIFTS)				

	FLOOR SURFACE	HANDRAIL / GUARD HEIGHTS	CONDITIONS
STAIRWAYS:	N/A		
RAMPS:	N/A		

ARCHITECTURAL FEASIBILITY STUDY

GREYSTONE ELEMENTARY SCHOOL

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PROVISIONS FOR ACCESSIBILITY CONT.**CLINIC:**

REQUIRED CLINIC AREAS/ ASSEMBLIES	COMPLIANCE	CONDITIONS	REMARKS
WAITING AREA:	NO	2X	
PRIVATE MEETING AREA:	NO	2X	
TREATMENT AREA:	NO	2X	
REST ROOM:	NO	2X	
WORK AREA:	NO	2X	

KITCHEN:

REQUIRED KITCHEN AREAS/ ASSEMBLIES	COMPLIANCE	CONDITIONS	REMARKS
WASHABLE SURFACES:	NO	2X	
HAND SINK:	NO	2X	
REST ROOM:	NO	2X	

CLASSROOM EGRESS:

	COMPLIANCE	CONDITIONS	REMARKS
EMERGENCY RESCUE WINDOW:	NO		
DOORS BETWEEN CLASSROOMS:	YES	3	

ARCHITECTURAL FEASIBILITY STUDY

GREYSTONE ELEMENTARY SCHOOL

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SITE DATA:

	DESCRIPTION
LOT AREA:	
LAND USED:	PARKING ACCESS AND PLAY AREAS ARE IN SITE

	MATERIALS	CONDITIONS	REMARKS
PARKING LOT:	BIT	2	
SIGNAGE:	ALUM/WD	3	
BUS DROP OFF:	BIT	3	
BUS PICK UP:	BIT	3	
PARENT DROP:	BIT	3	
PARENT PICK UP:	BIT	3	
LOADING/SERVICE AREA:	BIT	3	
TRASH AREA:	BIT	3	

SITE ACCESSIBILITY DATA:

	COMPLIANCE	REMARKS
PARKING:	YES	
CURB CUTS:	YES	
RAMPS:	N/A	
WALKWAYS:	YES	

ARCHITECTURAL FEASIBILITY STUDY

GREYSTONE ELEMENTARY SCHOOL

CONDITIONS, KEY CRITERIA:

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BUILDING SYSTEMS AND ASSEMBLIES OF ORIGINAL BUILDINGS CONT**EXTERIOR**

EXTERIOR ENVELOPE	MATERIAL	CONDITIONS	REMARKS
WALL ASSEMBLY:	CMU/BRICK	2	SEE STRUCTURAL REPORT
ORIGINAL BUILDING:	N/A		
ADDITION:	N/A		
ROOF ASSEMBLY:		1	SEE NOTES
ORIGINAL BUILDING:	N/A		
ADDITION:	N/A		
WINDOWS:	ALUM	3	DO NOT COMPLY WITH PULL FORCE
ORIGINAL BUILDING:	N/A		
ADDITION:	N/A		
EXTERIOR DOORS:	MTL/ALUM	3	
ORIGINAL BUILDING:	N/A		
ADDITION:	N/A		

ARCHITECTURAL FEASIBILITY STUDY**GREYSTONE ELEMENTARY SCHOOL****CONDITIONS, KEY CRITERIA:**

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SECURITY

	PROVIDED	NOT PROVIDED	REMARKS
SCHOOL SIGN:	X		
MAIN ENTRANCE IDENTIFICATION:		X	NOT CLEAR
EXTERIOR DOOR IDENTIFICATION:		X	
PASSIVE SECURITY:		X	
ACTIVE SECURITY:	X		
EXTERIOR CAMERAS:		X	
INTERIOR CAMERAS:		X	
DOOR FOB:	X		ONLY ONE LOCATION
SENSORS:	X		
CLASS ROOM LOCKDOWN:	X		
CLASS ROOM CONNECTING DOOR:	X		

ARCHITECTURAL FEASIBILITY STUDY

GREYSTONE ELEMENTARY SCHOOL

ACCESSIBLE**RESTROOMS**

	COMPLIANCE	CONDITIONS	REMARKS
UNIBEX 1			
TOILET	NO	2	
SINK	NO	2	
ACCESSORIES	NO	2	
GRAB BARS	NO	2	
TURNING RADIUS	NO	2	
UNIBEX 2			
TOILET	NO	2	
SINK	NO	2	
ACCESSORIES	NO	2	
GRAB BARS	NO	2	
TURNING RADIUS	NO	2	
MEN 3			
TOILET	NO	3	
SINK	NO	3	
ACCESSORIES	NO	3	
GRAB BARS	NO	3	
TURNING RADIUS	NO	3	
WOMEN 4			
TOILET	NO	2	
SINK	NO	2	
ACCESSORIES	NO	2	
GRAB BARS	NO	2	
TURNING RADIUS	NO	2	
BOYS 5			
TOILET	NO		
SINK	NO		
ACCESSORIES	NO		
GRAB BARS	NO		
TURNING RADIUS	YES		
GIRLS 6			
TOILET	NO		
SINK	NO		
ACCESSORIES	NO		
GRAB BARS	NO		
TURNING RADIUS	YES		

GREYSTONE ELEMENTARY SCHOOL

	COMPLIANCE	CONDITIONS	REMARKS
Boys 7			
TOILET	NO	2	
SINK	NO	2	
ACCESSORIES	NO	2	
GRAB BARS	NO	2	
TURNING RADIUS	NO	2	
GIRLS 8			
TOILET	NO	2	
SINK	NO	2	
ACCESSORIES	NO	2	
GRAB BARS	NO	2	
TURNING RADIUS	NO	2	
UNISEX 9			
TOILET	NO	2	
SINK	NO	2	
ACCESSORIES	NO	2	
GRAB BARS	NO	2	
TURNING RADIUS	NO	2	
UNISEX 10			
TOILET	NO	2	
SINK	NO	2	
ACCESSORIES	NO	2	
GRAB BARS	NO	2	
TURNING RADIUS	NO	2	

GREYSTONE ELEMENTARY SCHOOL**NOTES:**

- THERE IS NO BUILT KITCHEN ONLY AREA IN GYM/CAFETERIA.
- THERE IS NO PULL SIDE ADA CLEARANCE IN CLASSROOM RM 1,2,3,4,5 AND 6 MUSIC/ART 7,8 AND 16.
- 4 BUSES ACCESS THE SCHOOL.
- MOST PARENT DROP OFF/PICK UP
- MORE PARENT PARKING IS NEEDED
- ROADS, PARKING AREA
- SCHOOL HAS 1/2 RESOURCES TEACHER 1/2 PSYCHOLOGIST
- THERE IS NO DEDICATED ART ROOM OR MUSIC ROOM
- "ART ROOM" SINK IS NOT ADA
- THE TEACHER SHARE SPACE FOR TITLE I RESOURCE AND SPEECH.
- CAFETERIA AND GYM ARE SAME SPACE.
- SCHOOL HAS LACK OF STORAGE. STORAGE ROOMS WERE CONVERTED INTO PSYCHOLOGIST AND OTHER INTO SOCIAL WORKERS OFFICE.
- BAD ACOUSTICS IN CAFETERIA. TOO LOUD.
- NO COMPUTER ROOM.
- THERE IS NO PLAYGROUND.
- THE MODIFIED BITUMEN WITH GRANULAR SURFACE ROOF IS PAST ITS USEFUL PERFORMANCE LIFE.
- THERE IS ROOF PONDING, SEAMS HAVE FAILED.
- THERE IS EVIDENCE OF SATURATED INSULATION AND FAILED FLASHING, NON FUNCTIONING ROOF DRAINS.
- FIRE CODE: SEE ATTACHMENT FOR FIRE CODE VIOLATIONS OF EXISTING, EGRESS LIGHTING, DOOR HARDWARE, FIRE ALARM, SPRINKLER SYSTEM, SMOKE DETECTOR, WINDOW SHADES AND DOOR PLEXIGLASS.
- WINDOWS FOR RESCUE ASSISTANCE ARE NOT PROVIDED.

Greystone Elementary School - MEP



GEDC0051



GEDC0052



GEDC0053



GEDC0054



GEDC0055



GEDC0056



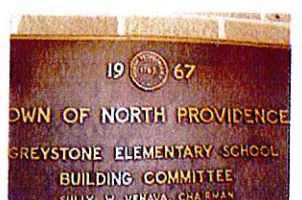
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GEDC0022



GEDC0023



GEDC0024



GEDC0025



GEDC0026



GEDC0027



GEDC0028



GEDC0029



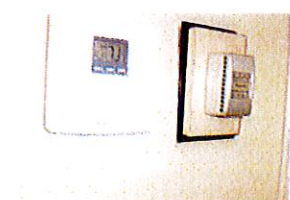
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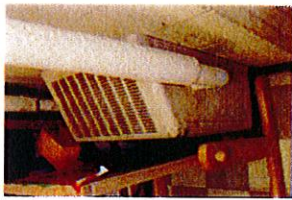
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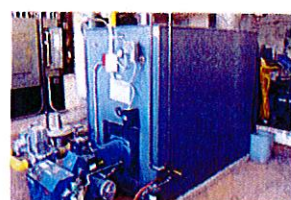
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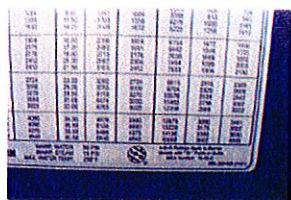
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GEDC0040



GEDC0041



GEDC0042



GEDC0043



GEDC0044



GEDC0045



GEDC0046



GEDC0047



GEDC0048



GEDC0049

Greystone Elementary School - MEP



GEDC0050

ARCHITECTURAL FEASIBILITY STUDY

GREYSTONE ELEMENTARY SCHOOL

CONDITIONS, KEY CRITERIA:

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ELECTRICAL

THE POWER, SIGNAL, LIGHTING, FIRE ALARM AND LIFE SAFETY SYSTEMS AND DEVICES IN THIS SCHOOL
APPEAR TO HAVE REACHED THEIR USEFUL LIFE.

OBSERVATIONS:

A NEW ADDRESSABLE FIRE ALARM SYSTEM IS SCHEDULED TO BE INSTALLED
IN THE NEAR FUTURE.

RECOMMENDATIONS:

ANY IMPROVMENTS TO THIS SCHOOL WILL REQUIRE COMPLETE SYSTEM UPGRADES.

	RATING	VOLTAGE	METERING	DATE OF INSTALLATION	CONDITIONS
SERVICE:	400A	120/240	1 PH, 3W	1967	FAIR

	TYPE	LOCATION	CONDITIONS
TRANSFORMER:	50KVA	120/240	POLE MTD 1967 FAIR

	RATING	ENERGY SOURCE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
EMERGENCY GENERATOR:	NONE				

	TYPE	DATE OF INSTALLATION	CONDITIONS
DISTRIBUTION SYSTEM:	CONDUCTORS IN COUIT	1967	FAIR

	GROUNDING / NON GROUNDING	DATE OF INSTALLATION	CONDITIONS
DEVICES:			
TYPICAL CLASSROOMS:	X		FAIR
OFFICES:	X		FAIR
GYM / CAFETERIA:	X		FAIR
LOBBY / CORRIDOR:	X		FAIR
TOILETS:	X		FAIR

ARCHITECTURAL FEASIBILITY STUDY

GREYSTONE ELEMENTARY SCHOOL

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ELECTRICAL CONT.

LIGHTING	LAMP TYPE	MOUNTING	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	FLUORESCENT	SURFACE	10+ YEARS	FAIR
OFFICES:	FLUORESCENT	SURFACE	10+ YEARS	FAIR
LIBRARY:	FLUORESCENT	SURFACE	10+ YEARS	FAIR
GYM / CAFETERIA:	T5HO	SUSPENDED	2005	GOOD
LOBBY / CORRIDOR:	FLUORESCENT	RECESSED	10+ YEARS	FAIR
TOILETS:	FLUORESCENT	RECESSED	10+ YEARS	FAIR
LIGHTING CONTROLS:	SWITCHING/SENSORS		5+ YEARS	FAIR
THEATER LIGHTING SYSTEM::	N/A			

SITE LIGHTING:	LAMP TYPE:	MOUNTING	DATE OF INSTALLATION	CONDITIONS
SPORTS FIELDS:	METAL HALIDE	POLE	1967	FAIR
PARKING:	METAL HALIDE	POLE	1967	FAIR
WALKWAYS:	HIGH PRES SOD	WALL	10+ YEARS	FAIR
BUILDING ENTRANCES:	LED	WALL PACKS	2012	VERY GOOD

SECURITY SYSTEM:	TYPE:	MANUFACTURER:	DATE OF INSTALLATION	CONDITIONS
CCTV:	N/A			
DOOR ACCESS CONTROLS:	DOOR SWITCH	KEYSCAN	1967	POOR
DETECTION DEVICES:	MOTION	KEYSCAN	1967	POOR

COMMUNICATIONS SYSTEM:	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
MASTER CLOCK / PROGRAM:	YES	MASTER TIMER	1967	FAIR
TYPICAL CLASSROOMS:	P/A	UNKNOWN	1967	FAIR
OFFICES:	P/A	UNKNOWN	1967	FAIR
PUBLIC AREAS:	P/A	UNKNOWN	1967	FAIR

ARCHITECTURAL FEASIBILITY STUDY**GREYSTONE ELEMENTARY SCHOOL****CONDITIONS, KEY CRITERIA:**

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TELE/ DATA VIDEO SYSTEM	TYPE	MANUFACTURER	CCTV	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	HARDWIRE & WIFI	UNKNOWN	NO	1967	FAIR
OFFICES:	HARWIRE	UNKNOWN	NO	1967	FAIR
LIBRARY:	HARDWIRE & WIFI	UNKNOWN	NO	1967	FAIR
GYM/ CAFETERIA:	NONE				

LOCAL SOUND SYSTEMS	TYPE	MANUFACTURER	CONTROLS	DATE OF INSTALLATION	CONDITIONS
GYM/ CAFETERIA	PA SYSTEM	UNKNOWN			

	TYPE:	MANUFACTURER:	CONTROLS	DATE OF INSTALLATION	CONDITIONS
EMERGENCY LIGHTING:	LIGHTED	UNKNOWN	BATTERY B/U	1967	POOR
EXIT LIGHTING:	NONE				

EMERGENCY LIGHTING HAS A CENTRALLY LOCATED BATTERY UNIT AND REMOTE HEADS.

	TYPE:	MANUFACTURER:	NOTIFICATIONS	DATE OF INSTALLATION	CONDITIONS
FIRE ALARM SYSTEM:	CONVENTIONAL	NOTIFIER	AUDIO/VISUAL	1967	POOR

FIRE ALARM DEVICES	DETECTOR TYPE	ALARM SYGNAL TYPE	PULL STATION	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	HEAT DETECTION	NONE		1967	POOR
OFFICES:	HEAT DETECTION	NONE		1967	POOR
LIBRARY:	HEAT DETECTION	NONE		1967	POOR
AUDITORIUM / STAGE:	N/A			1967	POOR
GYM/ CAFETERIA:	HEAT DETECTION	NONE	YES	1967	POOR
LOBBY / CORRIDOR:	SMOKE	AUDIO/VISUAL	YES	1967	POOR
KITCHEN:	N/A				
STORAGE / SERVICE:	HEAT DETECTION	NONE		1967	POOR
TOILETS:	HEAT DETECTION	NONE		1967	POOR

NOTES:

CLASSROOMS DO NOT HAVE FIRE ALARM STROBE DEVICES OR EMERGENCY LIGHTING.

ARCHITECTURAL FEASIBILITY STUDY**SECTION 15500**

GREYSTONE ELEMENTARY SCHOOL

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HEATING & VENTILATION - GREYSTONE ELEMENTARY

CENTRALIZED SYSTEMS	ENERGY SOURCE	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
HEATING EQUIPMENT #1:	NAT GAS	HW BOILER	WEIL McLAIN	2007	5 GOOD
COOLING EQUIPMENT #1:	N/A	-	-	-	
EXHAUST EQUIPMENT #1:	ELECT.	ROOF FAN	-	ORIGINAL	2 POOR

DISTRUBUTION SYSTEMS	SIZE	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
HEATING DISTRUBUTION EQUIPMENT:	PUMPS (5) - 3/4 HP	INLINE	BELL & GOSSETT	ORIGINAL	2 POOR
COOLING DISTRUBUTION EQUIPMENT:	N/A	-	-	-	
AIR DISTRIBUTION EQUIPMENT:	N/A	-	-	-	

TERMINAL EQUIPMENT	TYPE	MANUFACTURER	CONTROLS	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	UV & EF	-	ELECTRONIC	ORIGINAL	2 POOR
OFFICES:	BB	-	ELECTRONIC	ORIGINAL	3 FAIR
LIBRARY:	UV & EF	-	ELECTRONIC	ORIGINAL	2 POOR
GYMNASIUM:	AHU & EFS	-	ELECTRONIC	ORIGINAL	2 POOR

NOTES:

- 1)BOILER WAS CONVERTED FROM OIL TO DUAL FUEL IN 2011. WEIL McLAIN 988 2700MBH IN 2200 OUT.
- 2) NO CENTRAL COOLING. WINDOW A/C IN SELECT AREAS.
- 3)CLASSROOMS AND LIBRARY HAVE ORIGINAL UVS WITH CENTRAL EXHAUST. EXHAUST GRILLE LOCATED IN CLOSETS.
- 4)BB AND CONVECTORS IN HALLWAYS, OFFICES, BATHROOMS, ETC.
- 5)GYM HAS AN AHU LOCATED IN A ROOF MECHANICAL ROOM, DISCHARGES SIDEWALL, LOW RETURNS. TWO EXHAUST FANS.

ARCHITECTURAL FEASIBILITY STUDY

GREYSTONE ELEMENTARY SCHOOL

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PLUMBING SYSTEM

SERVICE	PIPE SIZE	METER SIZE	PRESSURE REGULATOR	OPER PRESSURE	PIPE MATERIAL	SOURCE	AGE	MISCELLANEOUS
WATER:	4"	2"	N/A	CITY	COPPER	MUNICIPAL	1953	NO BPF
GAS:	4"	2"	N/A	4-5" W.C.	STEEL	UTILITY	2007	5000 CFH

SYSTEM	PIPE MATERIAL/CONDITION	TYPE INSULATION/ CONDITION	MISCELLANEOUS
DOMESTIC COLD WATER:	COPPER/FAIR	FIBERGLASS	INFRASTRUCTURE IS ORIGINAL
DOMESTIC HOT WATER:	COPPER/FAIR	FIBERGLASS	INFRASTRUCTURE IS ORIGINAL
SANITARY WASTE & VENT:	CAST IRON/FAIR		INFRASTRUCTURE IS ORIGINAL
STORM DRAINAGE:	CAST IRON/FAIR		INFRASTRUCTURE IS ORIGINAL
GAS:	STEEL/GOOD		
NON-POTABLE (LAB) CW:	N/A		
NON-POTABLE (LAB) HW:	N/A		
ACID (LAB) WASTE & VENT:	N/A		
KITCHEN WASTE:	N/A		
TEMPERED WATER:	N/A		

EQUIPMENT	TYPE/FUEL	AGE	CONDITION	MISCELLANEOUS
DOMESTIC WATER HEATER:	ATMOSPHERIC/GAS	2006	5	A.O.SMITH GCVL 40 300
SANITARY EJECTOR PUMP:	N/A			
STORM EJECTOR PUMP:	N/A			
DOMESTIC WATER BOOSTER PUMP:	N/A			
INTERIOR KITCHEN GREASE TOP:	N/A			

ARCHITECTURAL FEASIBILITY STUDY**GREYSTONE ELEMENTARY SCHOOL****CONDITIONS, KEY CRITERIA:**

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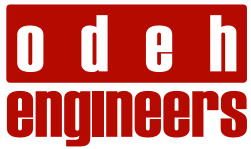
PLUMBING SYSTEM CONT.

PLUMBING FIXTURES	TYPE/ INSTALLATION	LOW CONSUMPTION/ METERING	ACCESSIBLE	CONDITION	MISCELLANEOUS
WATER CLOSET:	FLUSH VALVE	NO		2	POOR CONDITION
URINAL:	FLUSH VALVE	NO		2	POOR CONDITION
LAVATORY:	WALL HUNG RECESSED	NO		2	POOR CONDITION
DRINKING FOUNTAIN/WATER COOLER:	BUBBLER	NO		1	POOR CONDITION
CLASSROOM SINK:	SELF RIMMING	NO		3	
CLASSROOM BUBBLER / DRINKING FOUNTAIN:	N/A				
MOP SINK:	JANITOR SINK			2	
SHOWERS:	N/A				

MISCELLANEOUS FIXTURES	MISCELLANEOUS
HOSE BIBB:	
WALL HYDRANT:	2
FLOOR DRAIN:	
EMERGENCY SHOWER / EYEWASH:	N/A
EMERGENCY EYEWASH:	N/A
LAB FAUCETS:	N/A
LAB GAS COCKS:	N/A

NOTES

IN GENERAL THE PLUMBING FIXTURES ARE IN FAIR TO POOR CONDITION AND IN NEED OF REPLACEMENT. THE WASTE AND WATER PIPING INFRASTRUCTURE IS ORIGINAL TO THE BUILDING. WE WOULD EXPECT CONTINUED MAINTENANCE/REPAIR AS THE SYSTEMS CONTINUE TO AGE. THE WATER HEATERS ARE RELATIVELY NEW AND APPEAR IN GOOD WORKING CONDITION.



1223 Mineral Spring Avenue
North Providence, Rhode Island 02904

January 2, 2014

Mr. Luis Torrado
L.A. Torrado Architects
35 Greenwich Street
Providence, Rhode Island 02907

RE: Greystone Elementary School Facilities Assessment - Structural

Transmitted via email (la.torrado@verizon.net)

Dear Luis:

Per your request, this office has conducted an inspection and assessment of the structural elements of the Greystone Elementary School buildings. The following is a summary of the investigation and recommendations.

Standard of Care and Use of Report

Please note that the results of this investigation are limited to visual observations of the accessible areas of the building only. While we have made our best efforts to investigate the building structure, many conditions were concealed by architectural finishes or were otherwise inaccessible, and therefore additional damage or other unforeseen conditions not included in this report may be present. The findings of this report therefore represent our best professional opinion based on the information available to us at this time. This report is for use by L.A. Torrado Architects and the North Providence School Department to assess the existing structural condition of the Greystone Elementary School buildings.

Actions Taken

Odeh Engineers, Inc. undertook the following actions to complete this structural assessment:

- On Tuesday, December 3, 2013, Odeh Engineers' Field Engineer, Paul Wilkinson, inspected and assessed the Greystone Elementary School buildings. Where encountered, the Field Engineer documented and photographed existing deficiencies in the structural elements of the building, or potential problem areas that could lead to structural deficiencies.
- Subsequent to the site visit, the Field Engineer reviewed his observations, findings and photographs with Principal Engineer, M. David Odeh, P.E.
- Odeh Engineers has prepared this written summary of findings and recommendations.

Phone: 401.724.1771

Fax: 401.724.1981

Documents Reviewed

There were no structural drawings for the Greystone Elementary School buildings made available to Odeh Engineers at the time of authoring this structural assessment report.

Key Plan



FIGURE 1 – *This photograph is an aerial image of the Greystone Elementary School buildings. Note that north is vertically up in this image.*

Summary of Existing Conditions

The Greystone Elementary School buildings appeared to be in good structural condition with the exception of the following structural deficiencies and/or potential problem areas:

1. At several isolated locations, typically at the ends of the long, continuous exterior walls, the brick veneer is cracked. (Please refer to the Photos #1 to #3 below.) **Comments and Recommendations:** *These cracks appear to be caused by a lack of control joints to allow the brick veneer to freely expand and contract due to dimensional changes caused by variations in the temperature and moisture content of the brick. Odeh Engineer recommends that these cracks in the brick veneer be repaired, including the creation of new brick veneer control joints, so as to assure the long-term performance of the building envelope.*

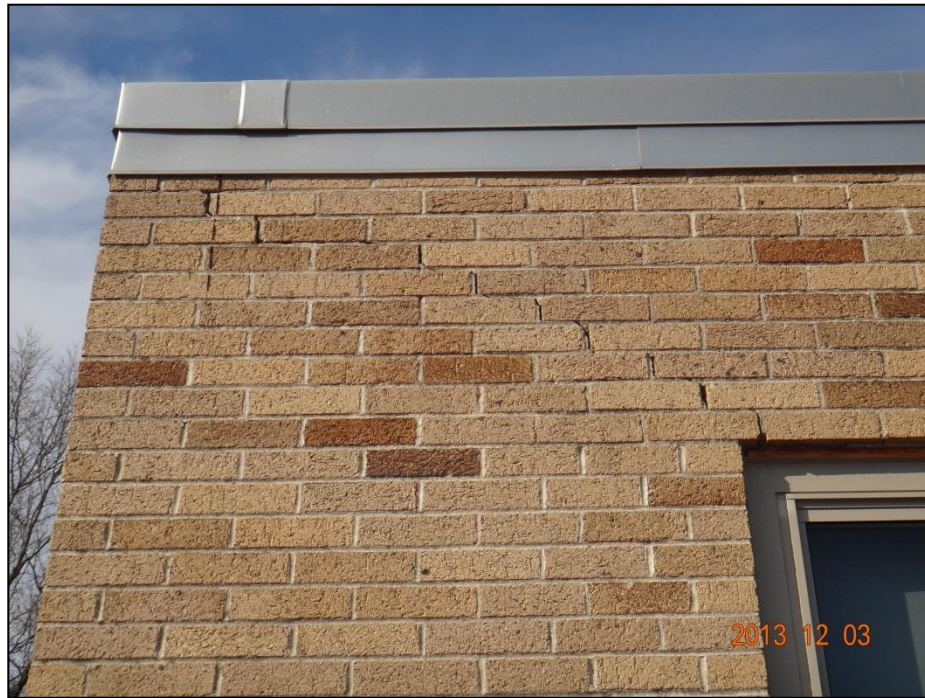


PHOTO #1 – *This photograph shows the stepped cracking of the brick veneer near the end and at the top of the exterior wall.*

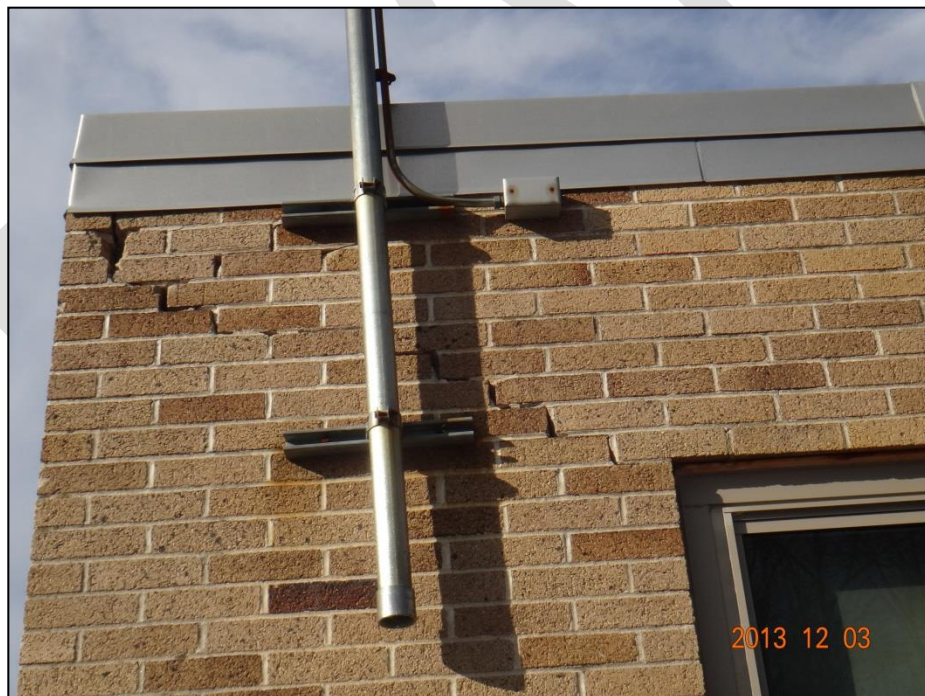


PHOTO #2 – *This photograph shows another location where the brick veneer has cracked at the top of the exterior wall. The cracks have occurred near the end of a long, continuous length of wall. There are no control joints to allow the brick veneer to freely expand and contract.*

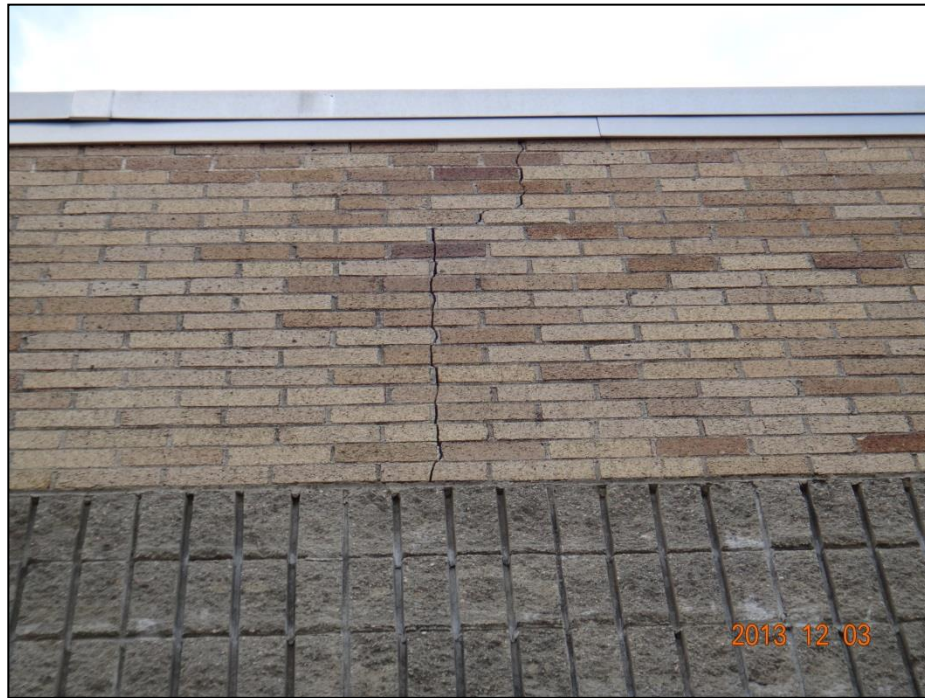


PHOTO #3 – *This photograph shows another location where a crack in the exterior brick veneer has occurred. This crack is located near the top of the exterior wall of the gymnasium building. There are no control joints in this length of wall.*

2. A couple of the roof drains on the school building roofs are partially blocked with debris. (Refer to Photo #4 below.) **Comments and Recommendations:** *All roof drains should be cleared of debris on a regularly scheduled basis.*



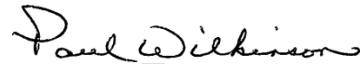
PHOTO #4 – *This photograph shows one of the partially blocked drains on the roof of the Greystone Elementary School building.*

We trust that this report meets your needs at this time. Should you wish to proceed with a more detailed study or design, Odeh Engineers would be pleased to provide these additional services for the project. In the meantime, please do not hesitate to contact this office if you have any questions or require additional information.

Sincerely,



M. David Odeh, P.E.
Principal



Paul Wilkinson
Field Engineer

DRAFT



North Providence Fire Department

1951 Mineral Spring Avenue North Providence, R.I. 02904
Phone: 231-8505 Ext. 304 Fax: 233-1460 E-Mail: firemarshal@northprovidenceri.gov

August 16, 2013

Melinda Smith, Superintendent of Schools
2240 Mineral Spring Avenue
North Providence, RI 02911

RE: Greystone Elementary School

Superintendent Smith,

The following is a list of violations which were discovered during our annual inspection of Greystone Elementary School, 100 Morgan Ave.

1. The interior finish of the wood paneling in the following locations shall be treated with a class A or B finish.
 - a. The area surrounding the main office
 - b. The entire library
 - c. The entire resource room
2. Exit Signs are broken, or missing in the following locations;
 - a. An exit sign shall be added in both directions over the cross corridor doors outside room 7
 - b. A directional exit sign shall be added at the end of the corridor near rooms 11 & 12
3. The regular lighting over the egress doors are in need of repair or replacement.
4. The emergency lighting throughout the entire building is not wired properly. Cords with plug ends have been added to the lighting and the light is powered through an outlet. These lights shall be wired in permanently without the addition of plug ends.
5. There is no emergency lighting over the exit doors.
6. The following doors need repair;
 - a. The door leading into the Pre-K room off the main corridor is missing
 - b. The door to the storage room across from the boiler room is hollow with Plexiglas in the vision panel
 - c. Multiple doors throughout the school have Plexiglas in the vision panels
 - d. The door leading to the resource room is hollow and has Plexiglas in the vision panel.
7. The existing fire alarm system does not meet the code and shall be repaired as necessary
 - a. There are at least two different types of Horn/ Strobes or horn lights throughout the building. There can only be one type and they shall all be synchronized.

8. An exit inspection program as well as an emergency light/exit sign inspection program shall be implemented. A log book documenting these programs shall be provided. There are multiple Exit sign batteries that are dead as well as emergency lighting throughout the building that are out.

I believe a lot of this can be addressed prior to the upcoming start of school. Whatever cannot be taken care of will be put into a violation letter with provisions to go to the RI Fire Code Board of Appeal and Review for time extensions.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "Lt. John P. Horan", written over a horizontal line.

Lt. John P. Horan
Fire Marshal

“AHERA”
ASBESTOS
RE-INSPECTION & MANAGEMENT PLAN

JANUARY 2013

at the:

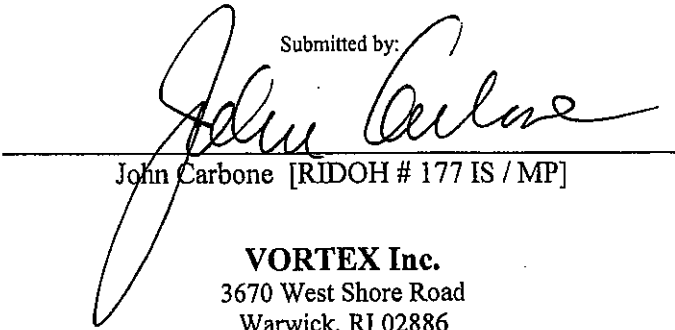
**GREYSTONE
ELEMENTARY SCHOOL**

100 Morgan Avenue
North Providence, RI 02911

For:

Armand Milazzo
Director of Non-Instructional Services
North Providence Public Schools

Submitted by:


John Carbone [RIDOH # 177 IS / MP]

VORTEX Inc.
3670 West Shore Road
Warwick, RI 02886

1-800-VORTEXX

☒ *Main copy*

☐ *School copy*

INTRODUCTION

Vortex, Inc. conducted a 3 year Re-inspection of friable and non-friable asbestos-containing building material(s) (ACBM) and "presumed" asbestos-containing building material(s) (PACM) at **Greystone Elementary School, North Providence, Rhode Island**. This Reinspection was performed in accordance with 40 CFR Part 763.85, AHERA FINAL RULE. This Reinspection was approved by the School's Local Education Agencies (LEA) (Armand Milazzo). This inspection was conducted on **January 31, 2013** by John Carbone from Vortex Inc. (RIDOH Asbestos Consultant Certificate #177 IS / MP).

The inspection was conducted in accordance with the AHERA Regulations. Original inspection reports as well as Re-inspection reports were utilized to ascertain the locations of the pre-assessed asbestos-containing building materials and all functional/accessible areas of the school building. These areas included; classrooms, utility closets, janitor's closets, above drop ceilings, and crawlspaces...etc. Building plans and reports were obtained through the school. The identified asbestos-containing building materials are denoted on the asbestos hazard inspection forms for further reference.

Assessment of the previously identified (original AHERA inspection and/or subsequent re-inspections) asbestos-containing materials consists of the information collected during the inspection portion of this project and the potential for the material to become damaged or significantly damaged. The assessment includes the following considerations; deteriorated condition, the friability of the material, vibration, water damage, air erosion, changes in the accessibility of the ACBM, new damage or increased damage to the ACBM, increase or decrease on the potential for significant damage or damage.

INSPECTION

The AHERA Re-inspection evaluation was conducted at **Greystone Elementary School** on **January 31, 2013**. At least once every 3 years after a management plan is in effect, each local education agency (LEA) shall have a Re-inspection evaluation performed by accredited and state certified individual(s). This Reinspection shall consist of all friable and nonfriable, known or assumed ACBM in each school building that they lease, own, or otherwise use as a school building. For each area of the school buildings, the inspector conducted the following assessment criteria:

- 1) Visually reinspect and reassess the condition of all known or assumed ACBM/PACM.
- 2) Visually inspected the material that was previously considered non-friable ACBM/PACM and touched the materials to determine whether it has become friable since the last Re-inspection.
- 3) Identified any homogenous areas with material that has become friable since the last Re-inspection.
- 4) For each homogenous area of newly friable material that is already assumed to be ACBM, bulk material samples were collected and submitted for asbestos analysis by a RI DOH certified laboratory.

5) Assessed the condition of the newly friable material in areas where samples were collected and newly friable materials that are assumed to be ACBM. *Suspect ACM bulk material sampling/analysis was not performed as part of this re-inspection and shall remain assumed to contain asbestos.*

6) Reassessed the condition of the friable, known or assumed ACBM previously identified.

7) Recorded the previous information for the submittal of this AHERA Re-inspection report and management plan.

Vortex, Inc. inspecting personnel utilized the original and the subsequent Re-inspection reports for this school building. This aided the inspection process and evaluation as to the location, amount, and former condition of the previously assessed asbestos-containing material(s) within the building. This management plan reports on all pre-assessed asbestos containing materials within the building whether there is a physical change or not. Refer to attached Chart of ACBM and PACM for homogeneous areas.

ASSESSMENT

The previously identified asbestos-containing building material was identified within its current condition and assessed as to the potential for damage or significant damage. If previously assumed asbestos-contained material is observed to be friable and/or damaged, bulk material sample(s) shall be collected/analyzed for asbestos content. The previously identified asbestos-containing material were classified and categorized to determine the appropriate response actions. The identified, assumed, or suspect asbestos-containing building materials are homogenized under one (1) of the three (3) types of asbestos-containing building materials. They are either:

- 1) Thermal System Insulation
- 2) Surfacing Materials, and/or
- 3) Miscellaneous materials and insulation's

RECOMMENDED RESPONSE ACTIONS

Condition classifications of the asbestos containing building materials are utilized to help the inspector designate a response action in accordance with the AHERA Regulations per 40 CFR 763.88(b) to include:

- 1) *Damaged or significantly damaged thermal system insulation*
- 2) *Damaged friable surfacing ACM*
- 3) *Significantly damaged friable surfacing ACM*
- 4) *Damaged or significantly damaged friable miscellaneous ACM*
- 5) *ACBM with potential for damage.*
- 6) *ACBM with potential for significant damage*
- 7) *Any remaining friable ACBM or friable suspect ACBM*

RESPONSE ACTION KEYS USED WITHIN ATTACHED CHARTS

Key #	THERMAL INSULATION [T]
1	<i>Isolate area and restrict access.</i> Abate as soon as possible.
2	<i>Continue O&M.</i> Repair or remove as soon as possible, or reduce potential for disturbance.
3-5	<i>Repair, Continue O&M.</i> Number indicates priority if all cannot be done immediately.
6-7	<i>Continue O&M.</i> Take preventative measures to reduce disturbance. Number indicates priority for removal.
8	<i>Continue O&M</i> until major renovation or demolition requires removal under NESHAP's or until hazard factors change.

Key #	SURFACING MATERIALS [S]
1	<i>Isolate area and restrict access.</i> Abate as soon as possible.
2	<i>Continue O&M.</i> Repair or remove as soon as possible, or reduce potential for disturbance.
3	<i>Continue O&M.</i> Schedule removal when practical and cost-effective or reduce disturbance.
4-5	<i>Continue O&M.</i> Schedule removal when practical and cost effective. Number indicates priority for removal.
6-7	<i>Continue O&M.</i> Take preventative measures to reduce disturbance. Number indicates priority for removal.
8	<i>Continue O&M</i> until major renovation or demolition requires removal under NESHAP's or until hazard factors change.

Key #	MISCELLANEOUS MATERIALS [M]
1	<i>Isolate area and restrict access.</i> Abate as soon as possible.
2	<i>Continue O&M.</i> Repair or remove as soon as possible, or reduce potential for disturbance.
3	<i>Continue O&M.</i> Schedule removal when practical and cost-effective or reduce disturbance.
4-5	<i>Continue O&M.</i> Schedule removal when practical and cost effective. Number indicates priority for removal.
6-7	<i>Continue O&M.</i> Take preventative measures to reduce disturbance. Number indicates priority for removal.
8	<i>Continue O&M</i> until major renovation or demolition requires removal under NESHAP's or until hazard factors change.

TYPES OF ACM PRESENT

Refer to the original AHERA and subsequent/attached Re-Inspection Reports for PACM and ACBM locations.

In summary, Vortex Inc. conducted the required three (3) year AHERA Re-inspection at **Greystone Elementary School**. As a results of this Re-inspection, the following materials were observed and determined to be in need of repair and/or removal or changes since the most recent AHERA Re-inspection included:

REFER TO ATTACHED CHART OF ACM

PHYSICAL ASSESSMENT

THE REMAINING ACBM OR PACM WITHIN THIS SCHOOL BUILDING WAS INTACT AND IN GOOD CONDITION AT THE TIME OF THE RE-INSPECTION.

OUTSIDE CONTRACTORS

Prior to any outside contractor performing work that May disturb/impact the ACM or PACM building components (pipes, wall plasters, etc.) throughout this school building, they shall be informed (by the LEA) about the suspect material locations. The LEA shall collect/analyze (by a RIDOH licensed Asbestos Inspector) these materials to determine if they contain asbestos (>1%). All lab reports shall be inserted into the AHERA Management Planner book. If lab results confirm the material to contain asbestos, then a RI licensed contractor or competent person (<3') shall remove the ACM prior to repairs/renovation activities. In any event, the contractor shall complete the attached form OUTSIDE CONTRACTOR - ACKNOWLEDGEMENT STATEMENT FORM and it shall be inserted into the Management Planner.

STEPS TO INFORM BUILDING OCCUPANTS / GUARDIANS

Workers and building occupants, or their legal guardians shall be informed about Re-inspections, response actions, and post-response action activities, including periodic Re-inspection and surveillance activities that are planned or in progress through postings in the teachers lunch room and information sent home in the annual AHERA Notification letter sent out in early September of each year.

AHERA - ASBESTOS RE-INSPECTION OF ACM & PACM

Vortex Inc. Page 1 of 2

GREYSTONE ELEMENTARY SCHOOL

NORTH PROVIDENCE SCHOOL DEPARTMENT

Reinspection Date: 1/31/13

		INSPECTION FINDINGS FOR ACM & PACM																Initials of Surveillance Inspector				
		Type and Quantity																				
		FLOOR COVERING (NF)						CEILING TYPE (F)					Response Action					6 MONTH SURVEILLANCES				
Location of ACBM	Floor	9" x 9" floor tile	12"x12" floor tile	Wood	Terrazzo	ceramic	carpet	PLASTER	1' x 1'	2' x 4'	2' X 2'	Wall Material	FRIABLE	DAMAGED	ACCESS	POTENT. DAMAGE	RESPONSE	7/13	1/14	7/14	1/15	7/15
		TSI	MISC.		MISC.	MISC.		SURFACE	MISC	MISC.	MISC.	SURFACE										
FRONT OFFICE	1		140							140		BL/W	N	N	Y	X	M8					
OFFICE	1						200		200			BL/W	N	N	Y	X	M8					
NURSE	1						200		200			BL/W	N	N	Y	X	M8					
FRONT NURSE	1						50		50			BL/W	N	N	Y	X	M8					
FRONT ENTRANCE	1				100					100		BL/W	N	N	Y	X	M8					
HALL TO GYM	1										125	T	N	N	Y	X	M8					
HALL	1										210	T	N	N	Y	X	M8					
GYM CLOSET	1								30			BL	N	N	Y	X	M8					
GUIDANCE	1		350							350		BL	N	N	Y	X	M8					
GYM	1			2500				4X4				BL	N	N	Y	X	M8					
RESOURCE 1	1									180		BL	N	N	Y	X	M8					
RESOURCE 2	1									250		BL	N	N	Y	X	M8					
RES BATH	1					30		30				BL	N	N	Y	X	M8					
HALL	1	100								100		BL/T	N	N	Y	X	M8					
HALL OFFICE	1	100								100		BL/T	N	N	Y	X	M8					
HALL SOUTH	1	1000								1000		BL	N	N	Y	X	M8					
HALL EAST	1	1000								1000		BL	N	N	Y	X	M8					
ENTRANCE	1	100								100		BL	N	N	Y	X	M8					
CLASS 1	1	900								900		BL/W	N	N	Y	X	M8					
CLASS 2	1	900								900		BL/W	N	N	Y	X	M8					
CLASS 3	1	900								900		BL/W	N	N	Y	X	M8					
CLASS 4	1	900								900		BL/W	N	N	Y	X	M8					
BATH-RM 3	1	30								30		T/BL	N	N	Y	X	M8					
CLASS 5	1	900								900		BL/W	N	N	Y	X	M8					
KINDERGARTEN	1				700				700			BL/W	N	N	Y	X	M8					
HALL	1	1260								1260		BL	N	N	Y	X	M8					
BOYS	1	400	TILE					400				BL	N	N	Y	X	M8					

		INSPECTION FINDINGS FOR ACM & PACM																Vortex Inc. Page 2 of 2					
																		Initials of Surveillance Inspector					
		Type and Quantity											Response Action					6 MONTH SURVEILLANCES					
FLOOR COVERING (NF)						CEILING TYPE (F)					FRIABLE	DAMAGED						ACCESS	POTENT. DAMAGE	RESPONS E	7/13	1/14	7/14
Location of ACBM	Floor	9" x 9" floor tile	12"x12" floor tile	Wood	Terrazzo	ceramic	carpet	PLASTER	1' x 1'	2' x 4'	2' X 2'	Wall Material											
		TSI	MISC.		MISC.	MISC.		SURFACE	MISC	MISC.	MISC.	SURFACE											
GIRLS	1	400	TILE					400				BL	N	N	Y	X	M8						
SOCIAL	1						60		60			BL	N	N	Y	X	M8						
HALL	1	800								800		BL/T	N	N	Y	X	M8						
CLASS 11	1	900								900		BL/W	N	N	Y	X	M8						
CLASS 12	1	900								900		BL/W	N	N	Y	X	M8						
CLASS 14	1	900								900		BL/W	N	N	Y	X	M8						
CLASS 13	1	900								900		BL/W	N	N	Y	X	M8						
CLASS 15	1	900								900		BL/W	N	N	Y	X	M8						
CLASS 16	1	900								900		BL/W	N	N	Y	X	M8						
ENTRANCE	1	100								100		BL/T	N	N	Y	X	M8						
BOYS	1					300		300		300		BL/T	N	N	Y	X	M8						
GIRLS	1					300		300		300		BL/T	N	N	Y	X	M8						
CLASS 10	1	720								720		BL/W	N	N	Y	X	M8						
CLASS 9	1	720								720		BL/W	N	N	Y	X	M8						
CLASS 8	1	720								720		BL/W	N	N	Y	X	M8						
CLASS 7	1	720								720		BL/W	N	N	Y	X	M8						
CLASS 6	1	720								720		BL/W	N	N	Y	X	M8						
COMPUTER	1		225							225		BL/W	N	N	Y	X	M8						
LIBRARY	1	160	1140							1300		W	N	N	Y	X	M8						
SIDE ENTRANCE	1	150								150		W	N	N	Y	X	M8						
BOYS	1					350				350		BL	N	N	Y	X	M8						
GIRLS	1					350				350		BL	N	N	Y	X	M8						
JANITOR	1	24								24		BL	N	N	Y	X	M8						
KITCHEN	1	280								280		BL	N	N	Y	X	M8						

Code: N = NO; Y = YES; T = THERMAL; S = SURFACING; M = MISCELLANEOUS
NC = NO CHANGE; R = REPAIRED; D = DAMAGED

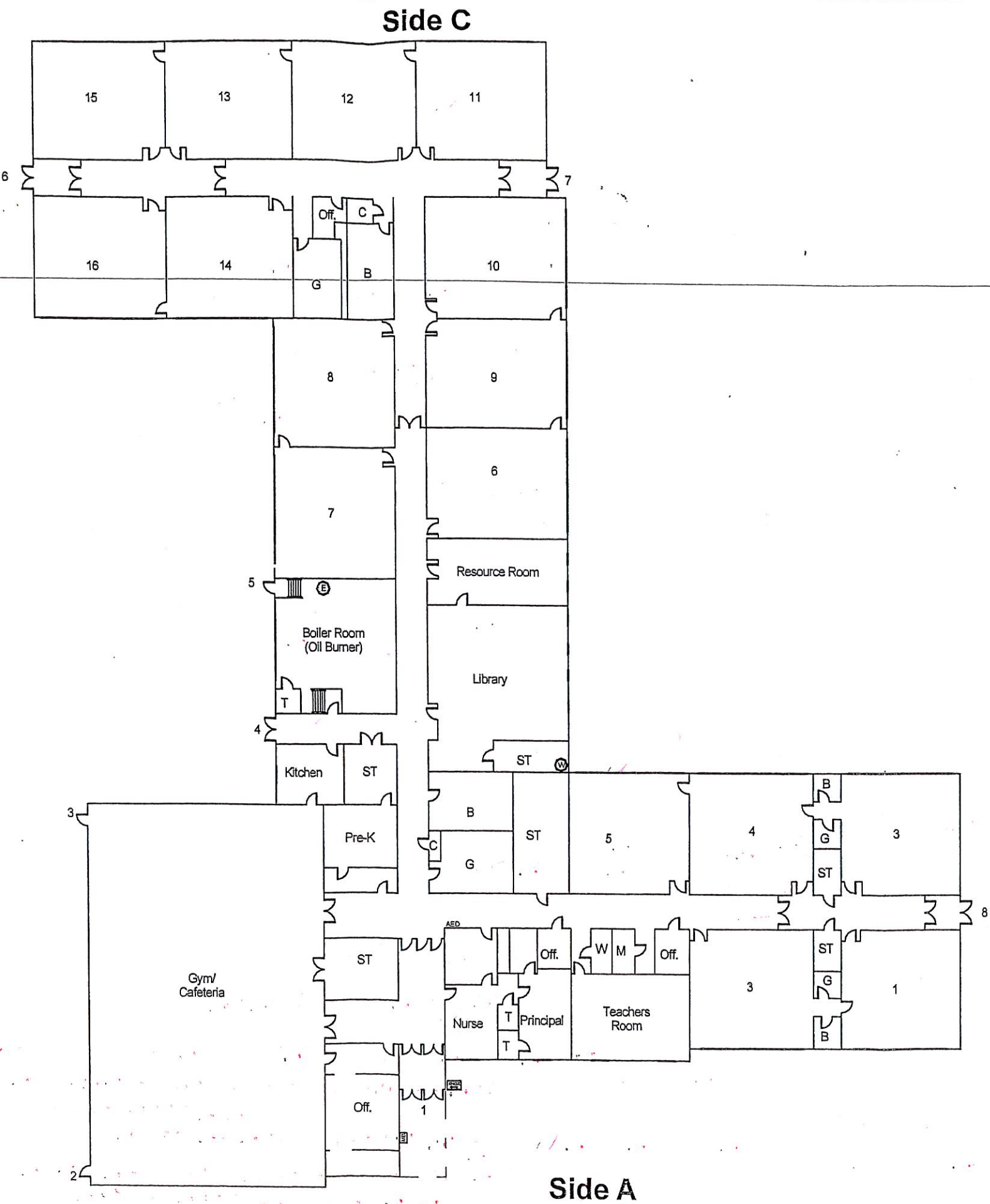
Asbestos Inspector: John Carbone
License Number: 177IS Expires 3/31/13

Management Planner: John Carbone
License Number: 177MP Expires 3/31/13

I, the LEA's Designated Person, have read and understood the recommendations made above: _____ Date: 1/31/13

District:	North Providence Public Schools
Building Name:	Greystone Elementary School
Address:	100 Morgan Avenue North Providence, RI 02911

First Floor



Legend

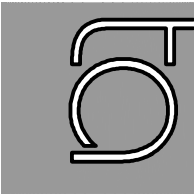
- ST Storage
- C Custodial
- M/W Mens' / Womens' Rooms
- B/G Boys' / Girls' Rooms
- R Ramp
- Camera
- Electrical Shutoff
- w Water Shutoff
- Gas Shutoff
- FACP Fire Alarm Control Panel
- Knox-Box



MCGUIRE ELEMENTARY SCHOOL
55 CENTRAL AVENUE NORTH PROVIDENCE, RI 02911



- | | | | |
|---|---|---|---|
|  Play Fields |  Faculty Parking |  Parent Parking |  Visitor Parking |
|  Play Area |  Buses |  Parent drop off | |



TORRADO
ARCHITECTS

215 GREENWICH ST.,
PROVIDENCE, RI 02907
401.781.1555 P
401.781.1555 F

KEY PLAN

RENOVATIONS TO:

**NORTH
PROVIDENCE
PUBLIC
SCHOOLS**

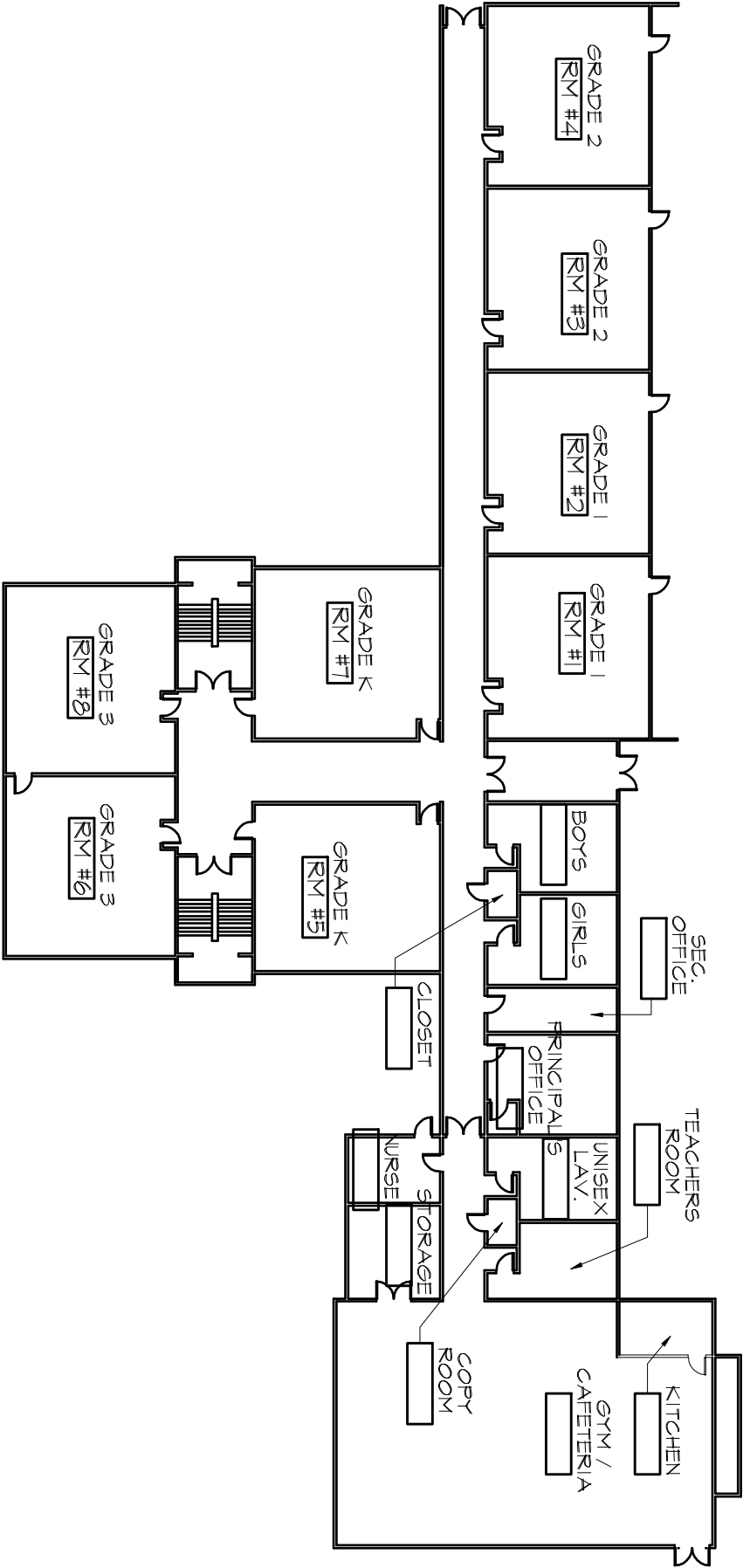
**FACILITY
ASSESSMENT
PROJECT 2013**

**MCGUIRE
ELEMENTARY
SCHOOL**

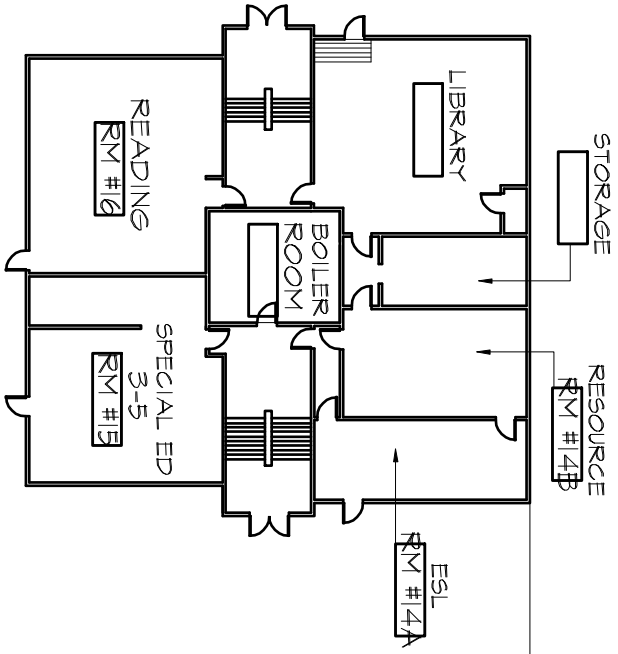
215 CENTRAL AVENUE
NORTH PROVIDENCE, RI 02904

DATE	REV.	DESCRIPTION
REVISIONS		

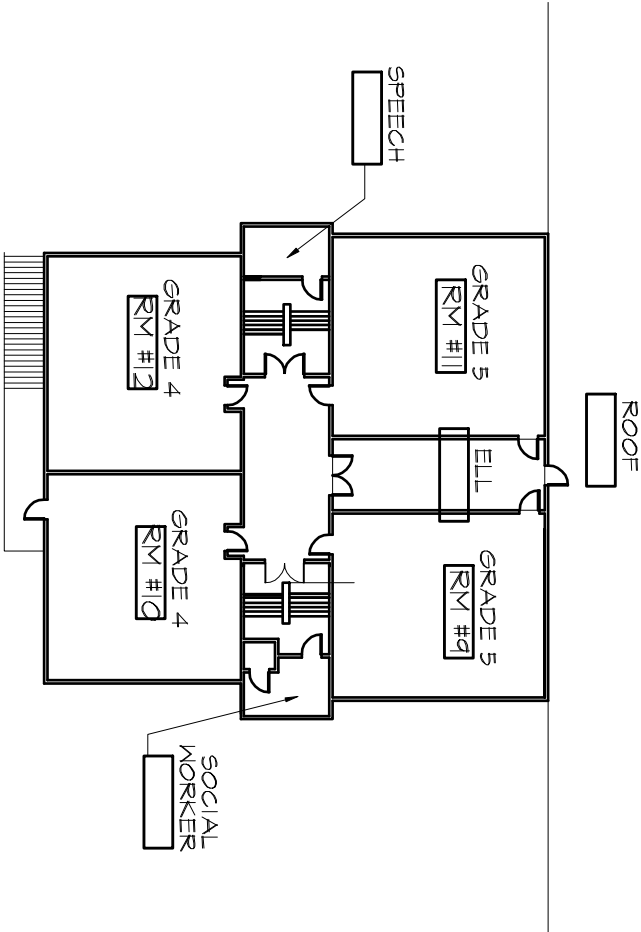
DATE	06 JANUARY 2014
DRAWN	N.T.
CHECKED	AS NOTED
DESIGNED	L.T.



1 1st FLOOR PLAN
Scale: 1/8" = 1'-0"



1 BASEMENT FLOOR PLAN
Scale: 1/8" = 1'-0"

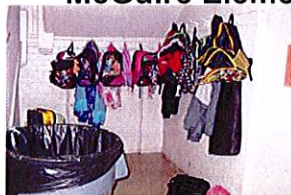


2 2nd FLOOR PLAN
Scale: 1/8" = 1'-0"

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CAPACITY ANALYSIS						
NORTH PROVIDENCE PUBLIC SCHOOLS						
McGUIRE SCHOOL				PRE K-5 GRADE		
Room Number	Use		Size Sq.Ft.	Room Capacity Teacher Contract	Code Capacity	Size per Ride
	Current Use	Room				
Main Level						
1	Grade 1	Classroom	870	20	43	950
2	Grade 1	Classroom	865	20	43	950
3	Grade 2	Classroom	870	20	43	950
4	Grade 2	Classroom	860	20	43	950
5	Grade K	Classroom	915	20	45	1,200
6	Grade 3	Classroom	900	20	45	950
7	Grade K	Classroom	930	20	46	1,200
8	Grade 3	Classroom	940	20	47	950
	Boys Lavatory		296			
	Girls Lavatory		296			
	Secretary	Office	171			1500 (Gen. Office)
	Principal	Office	380			
	Lavatory		275			
	Teachers' Room	Office	245			300
	Kitchen		150			1,600
	Gym/ Cafeteria		2,600			6,300
	Copy Room		40			
	Storage	Storage	256			
	Nurse	Office	180			510
	Closet	Storage	40			400
2nd Floor						
9	Grade 5	Classroom	895	25	44	950
10	Grade 4	Classroom	900	25	45	950
11	Grade 5	Classroom	970	25	48	950
12	Grade 4	Classroom	940	25	47	950
	Social Worker	Office	120			
	Speech	Office	96			
	ELL		346			500
Basement						
14A	Resource	Classroom	390	10	19	500
14B	ESL	Classroom	450	10	22	500
15	Special Ed	Classroom	875	11	43	500
16	Reading	Classroom	930	10	46	500
	Library		930			2,020
	Storage	Storage	229			1,600
	Boiler Room		334			
		Subtotal	20,484	301	669	
	Total Building Sq.Ft.		27010			
	Current Enrollment:		278			
	Total Capacity:		301	X 95% = 286		
	95% Utilization		286			
	Sq. Ft. per Student		94	(at Capacity)		
			97	(at Current Enrollment)		

McGuire Elementary School



STORAGE IN STAIR



- McGuire



BOYS 1 (2)



BOYS 1



CIRCULATION



CLASS ROOM



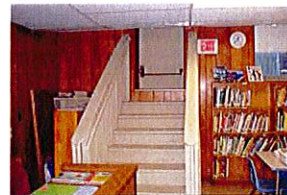
GIRLS 2 (2)



GIRLS 2



KITCHEN



NOT ADA (2)



NOT ADA (3)



NOT ADA (4)



NOT ADA (5)



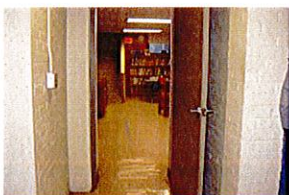
NOT ADA (6)



NOT ADA (7)



NOT ADA



NOT DOOR CLEARANCE



OPEN CUBBY IN STAIR



PAVEMENT (2)



PAVEMENT



REST ROOMS (2)



REST ROOMS



ROOF (2)



ROOF (3)



ROOF (4)



ROOF (5)



ROOF (6)



ROOF



SITE

ARCHITECTURAL FEASIBILITY STUDY

McGUIRE ELEMENTARY SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
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- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

GENERAL INFORMATION

NAME OF SCHOOL: JAMES L. McGUIRE ELEMENTARY SCHOOL

PRINCIPAL: THOMAS MEAGHER

ADDRESS: 55 CENTRAL AVENUE, NORTH PROVIDENCE, RI 02911

OWNER: NORTH PROVIDENCE SCHOOL DEPARTMENT

GRADE LEVELS: K THROUGH 5

STUDENT POPULATION: 278

STUDENT CAPACITY: 286

YEAR CONSTRUCTED: 1900

ADDITIONS: 1953

CONSTRUCTION DATA:

STATE BUILDING CODE / CONSTRUCTION TYPE	
ORIGINAL BUILDING:	3B BRICK STEEL HEAVY TIMBER
FIRST ADDITION:	2B BRICK CMU STEEL
SECOND ADDITION:	N/A
OCCUPANCY GROUP:	B
SUB - BASEMENT:	3B
BASEMENT:	N/A
GRADE LEVEL:	3B
SECOND FLOOR:	3B
THIRD FLOOR:	3B

NUMBER OF STORIES	
ORIGINAL BUILDING:	3
FIRST ADDITION:	1
SECOND ADDITION:	N/A

ARCHITECTURAL FEASIBILITY STUDY

McGUIRE ELEMENTARY SCHOOL

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INTERIOR FINISHES

	FLOOR FINISH	CONDITIONS	WALL FINISH	CONDITIONS	CEILING FINISH	CONDITIONS
TYPICAL CLASSROOMS	VCT/ATC	2	CMU/GYP	2	SAT	2
GYM	VCT/ATC					
GYM LOCKER ROOMS	N/A					
LOCKER ROOMS	N/A					
AUDITORIUM	N/A					
CAFETERIA	SAME AS GYM					
LIBRARY	VCT/ATC	2	GYP/PTD	3	SAT	2
OFFICES	VCT/ATC	2	GYP/PTD	3	SAT	2
TEACHER LOUNGE	VCT/ATC	2	GYP/PTD	3		2
TOILETS	CT	2	CT CMU	3	SAT	2
CORRIDORS	VCT/ATC	2	CMU/GYP	2	SAT	2
LOBBIES	VCT ATC	2	CMU/GYP	2	SAT	2
VESTIBULE	NON					
STAIRS	WD	2	GYP	2	GYP	2
KITCHEN	SAME AS GYM					
MECHANICAL/SERVICE	CONC	2	CMU/PLASTER	2		

INTERIOR ELEMENTS

	MATERIAL	CONDITION	REMARKS
INTERIOR DOORS	WD/MTL	3	NEW FIRE DOOR AT 1930 BUILDING
HARDWARE	1/2 NEW	2	NO
LOCKERS	N/A		
CUBBIES	WD	2	OPEN
COUNTER/CABINETS	WD/PL	2	
TEACHERS WARDROBE	WD	2	

ABBREVIATIONS

SAT	SUSPENDED ACOUSTICAL TILE	CONC	CONCRETE
VCT	VINYL COMPOSITE TILE	CMU	CONCRETE MASONRY UNIT
ACT	ASBESTOS COMPOSITE TILE	GYP BD	GYPSUM BOARD
CT	CERAMIC TILE	PTD	PAINTED
PL	PLASTIC LAMINATE	BIT	BITUMINOUS PAVING
WD	WOOD	ALUM	ALUMINUM
MTL	METAL	N/A	NOT APPLICABLE
		RT	RUBBER TILE

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PROVISIONS FOR ACCESSIBILITY

EXTERIOR ACCESSIBLE ROUTE	
ACCESSIBLE ROUTE:	THERE IS NO ACCESSIBLE ROUTE

	COMPLIANCE	REMARKS
PRIMARY ENTRANCE:	NO	
EXTERIOR/ EGRESS DOORS:	NO	
SIGNAGE:	NO	

INTERIOR ACCESSIBLE ROUTE	COMPLIANCE	REMARKS
ACCESSIBLE ROUTE:	NO	
ENTRANCE VESTIBULES:	NO	
SIGNAGE:	NO	
OFFICES:	NO	NO ADA COUNTER
LIBRARY:	NO	NO ADA COUNTER
AUDITORIUM	N/A	
CAFETERIA:	YES	
CROSS- CORRIDOR:	NO	
STAIRS:	NO	
HARDWARE:	1/2	COMPLIES AT NEW DOORS
ADMINISTRATION:		NO ADA COUNTER
GYMNASIUM:	YES	
LOCKER ROOM:	N/A	
CLASSROOM DOORS:	NO	SEE NOTE
DRINKING FOUNTAINS	NO	
CLASSROOM SINKS:	NO	ONLY IN 1950 ADDITION

CONDITIONS				
VERTICAL ACCESS:	NO			
(ELEVATORS / LIFTS)				

	FLOOR SURFACE	HANDRAIL / GUARD HEIGHTS	CONDITIONS
STAIRWAYS:	NO		
RAMPS:	NO		

ARCHITECTURAL FEASIBILITY STUDY

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PROVISIONS FOR ACCESSIBILITY CONT.**CLINIC:**

REQUIRED CLINIC AREAS/ ASSEMBLIES	COMPLIANCE	CONDITIONS	REMARKS
WAITING AREA:	NO	2	
PRIVATE MEETING AREA:	NO	2	
EXAMINATION AREA:	NO	2	
REST ROOM:	NO	2	

KITCHEN:

REQUIRED KITCHEN AREAS/ ASSEMBLIES	COMPLIANCE	CONDITIONS	REMARKS
WASHABLE SURFACES:	X		KITCHEN IS AN OPEN SPACE
HAND SINK:	X		IN THE GYM/CAFETRIA
REST ROOM:	X		

CLASSROOM EGRESS:

	COMPLIANCE	CONDITIONS	REMARKS
EMERGENCY RESCUE WINDOW:	NO		
DOORS BETWEEN CLASSROOMS:	NO		

ARCHITECTURAL FEASIBILITY STUDY

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SITE DATA:

	DESCRIPTION
LOT AREA:	
LAND USED:	PARENT DROP OFF AND PARKING NOT ON SITE

	MATERIALS	CONDITIONS	REMARKS
PARKING LOT:	BIT	3	
SIGNAGE:	ALUM/WD	3	
BUS DROP OFF:	BIT	3	
BUS PICK UP:	BIT	3	
PARENT DROP:	BIT	2	
PARENT PICK UP:	BIT	2	
LOADING/SERVICE AREA:	BIT	3	
TRASH AREA:	BIT	3	

SITE ACCESSIBILITY DATA:

	COMPLIANCE	REMARKS
PARKING:	NO	
CURB CUTS:	NO	
RAMPS:	NO	
WALKWAYS:	NO	

ARCHITECTURAL FEASIBILITY STUDY

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BUILDING SYSTEMS AND ASSEMBLIES OF ORIGINAL BUILDINGS CONT**EXTERIOR**

EXTERIOR ENVELOPE	MATERIAL	CONDITIONS	REMARKS
WALL ASSEMBLY:			
ORIGINAL BUILDING:	BRICK	3	SEE STRUCTURAL REPORT
ADDITION:	CMU/BRICK	3	
ROOF ASSEMBLY:		1	
ORIGINAL BUILDING:		1	SEE NOTE
ADDITION:		1	SEE NOTE
WINDOWS:	ALUM	3	
ORIGINAL BUILDING:	ALUM	3	
ADDITION:	ALUM	3	
EXTERIOR DOORS:	ALUM	2	
ORIGINAL BUILDING:	MTL	2	
ADDITION:	MTL	2	

ARCHITECTURAL FEASIBILITY STUDY

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SECURITY

	PROVIDED	NOT PROVIDED	REMARKS
SCHOOL SIGN:	X		
MAIN ENTRANCE IDENTIFICATION:		X	
EXTERIOR DOOR IDENTIFICATION:		X	
PASSIVE SECURITY:		X	
ACTIVE SECURITY:	X		
EXTERIOR CAMERAS:		X	
INTERIOR CAMERAS:		X	
DOOR FOB:	X		FRONT ONLY
SENSORS:		X	
CLASS ROOM LOCKDOWN:	X		
CLASS ROOM CONNECTING DOOR:		X	

ARCHITECTURAL FEASIBILITY STUDY

MCGUIRE ELEMENTARY SCHOOL

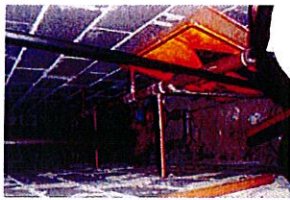
ACCESSIBLE**RESTROOMS**

	COMPLIANCE	CONDITIONS	REMARKS
BOYS 1			NO ACCESS TO ENTRANCE DOOR
TOILET	YES	2	
SINK	YES	2	
ACCESSORIES	NO	2	
GRAB BARS	NO	2	
TURNING RADIUS	NO		
GIRLS 2			
TOILET		2	
SINK		2	
ACCESSORIES		2	
GRAB BARS		2	
TURNING RADIUS			
UNISEX 3			
TOILET			
SINK			
ACCESSORIES			
GRAB BARS			
TURNING RADIUS			

MCGUIRE ELEMENTARY SCHOOL**NOTES:**

- CLASSROOM DOORS 1,2,3,4,5,6,7,10,12,14,15 AND 16 DO NOT HAVE ADA PULL SIDE CLEARANCE.
- THERE IS A LACK OF STUDENT AND FACULTY REST ROOMS.
- CUBBIES ARE OPEN AND NOT SEPARATE FROM STAIRS.
- THERE IS NO ART ROOM.
- THERE IS NO MUSIC ROOM.
- THERE IS NO COMPUTER ROOM.
- CAFETERIA AND GYM ARE IN THE SAME SPACE.
- THERE IS NO SEPARATE K PLAYGROUND CLASSROOM.
- ROOM 1,2,3,4 CAN'T BE LOCKDOWN FROM INSIDE.
- SOME ROOM TO ROOM CIRCULATION THROUGH BOILER ROOMS.
- LIBRARY READING ROOM SPECIAL EDUCATION, SPEECH, SOCIAL WORKER AND ELL SHOULD NOT BE ACCESSIBLE BY K 12 GRADES. THEY ARE NOT ADA COMPLIANT.
- THE MODIFIED BITUMEN WITH GRANULAR SURFACE ROOF IS PAST ITS USEFUL PERFORMANCE LIFE.
- THERE IS ROOF PONDING, SEAMS HAVE FAILED.
- THERE IS EVIDENCE OF SATURATED INSULATION AND FAILED FLASHING, NON FUNCTIONING ROOF DRAINS.
- FIRE CODE: SEE ATTACHMENT FOR FIRE CODE VIOLATIONS OF EXISTING, EGRESS LIGHTING, DOOR HARDWARE, FIRE ALARM, SPRINKLER SYSTEM, SMOKE DETECTOR, WINDOW SHADES AND DOOR PLEXIGLASS.
- WINDOWS FOR RESCUE ASSISTANCE ARE NOT PROVIDED.
- THE LIBRARY, READING ROOM, RESOURCE AND SPECIAL EDUCATION ROOMS ARE LOCATED IN THE BASEMENT AND BELOW THE LEVEL OF DISCHARGE WITH SECONDARY MEANS OF ESCAPE THAT DO NOT MEET DIMENSIONAL CRITERIA. A VARIANCE WAS GRANTED FOR THIS ITEM.

McGuire Elementary School - MEP



GEDC0105



GEDC0080



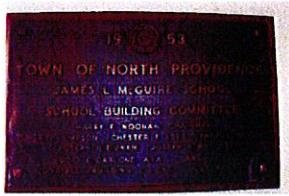
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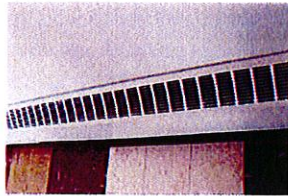
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GEDC0085



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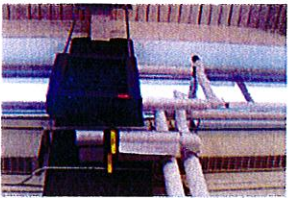
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GEDC0089



GEDC0090



GEDC0091



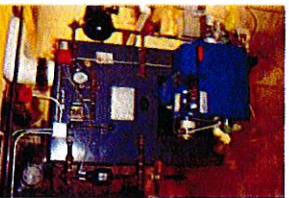
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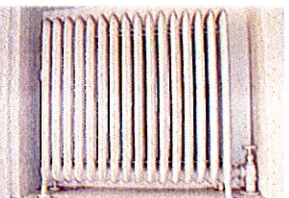
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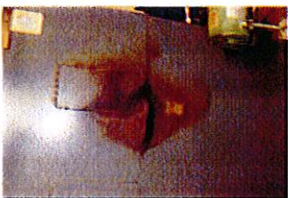
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GEDC0100



GEDC0101



GEDC0102



GEDC0103



GEDC0104

ARCHITECTURAL FEASIBILITY STUDY

MCGUIRE ELEMENTARY SCHOOL

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ELECTRICAL

THE POWER, SIGNAL, LIGHTING, FIRE ALARM AND LIFE SAFETY SYSTEMS AND DEVICES IN THIS SCHOOL
APPEAR TO HAVE REACHED THEIR USEFUL LIFE.

OBSERVATIONS:

A NEW ADDRESSABLE FIRE ALARM SYSTEM IS SCHEDULED TO BE INSTALLED
IN THE NEAR FUTURE.

RECOMMENDATIONS:

ANY IMPROVMENTS TO THIS SCHOOL WILL REQUIRE COMPLETE SYSTEM UPGRADES.

	RATING	VOLTAGE	METERING	DATE OF INSTALLATION	CONDITIONS
SERVICE:	200A	120/240	1 PH, 3W	1940/1953	POOR

	TYPE	LOCATION	CONDITIONS
TRANSFORMER:	50KVA	120/240	POLE MTD
			1940/1953
			POOR

	RATING	ENERGY SOURCE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
EMERGENCY GENERATOR:	NONE				

	TYPE	DATE OF INSTALLATION	CONDITIONS
DISTRIBUTION SYSTEM:	CONDUCTORS I		
		1940/1953	FAIR

	IN CONDUIT	NON GROUNDED	DATE OF INSTALLATION	CONDITIONS
DEVICES:	GROUNDED /			
TYPICAL CLASSROOMS:	X		1940/1953	POOR
OFFICES:	X		1940/1953	POOR
GYM / CAFETERIA:	X		1940/1953	POOR
LOBBY / CORRIDOR:	X		1940/1953	POOR
TOILETS:	X		1940/1953	POOR

ARCHITECTURAL FEASIBILITY STUDY

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ELECTRICAL CONT.

LIGHTING	LAMP TYPE	MOUNTING	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	FLUORESCENT	SURFACE	10+ YEARS	FAIR
OFFICES:	FLUORESCENT	SURFACE	10+ YEARS	FAIR
LIBRARY:	FLUORESCENT	SURFACE	10+ YEARS	FAIR
GYM / CAFETERIA:	T5HO	SUSPENDED	2005	GOOD
LOBBY / CORRIDOR:	FLUORESCENT	SURFACE	10+ YEARS	FAIR
TOILETS:	FLUORESCENT	SURFACE	10+ YEARS	FAIR
LIGHTING CONTROLS:	SWITCHING/SENSORS		5+ YEARS	FAIR
THEATER LIGHTING SYSTEM::	N/A			

SITE LIGHTING:	LAMP TYPE:	MOUNTING	DATE OF INSTALLATION	CONDITIONS
SPORTS FIELDS:	N/A			POOR
PARKING:	N/A			POOR
WALKWAYS:	N/A			POOR
BUILDING ENTRANCES:	COMPACT FLUOR	CANOPY	1940/1953	POOR

SECURITY SYSTEM:	TYPE:	MANUFACTURER:	DATE OF INSTALLATION	CONDITIONS
CCTV:	N/A			
DOOR ACCESS CONTROLS:	FOB AT MAIN ENT	KEYSCAN	1953	POOR
DETECTION DEVICES:	MOTION	KEYSCAN	1953	POOR

COMMUNICATIONS SYSTEM:	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
MASTER CLOCK / PROGRAM:	YES	MASTER TIMER	1953	POOR
TYPICAL CLASSROOMS:	P/A	DUKANE	1953	POOR
OFFICES:	P/A	DUKANE	1953	POOR
PUBLIC AREAS:	P/A	DUKANE	1953	POOR

ARCHITECTURAL FEASIBILITY STUDY**MCGUIRE ELEMENTARY SCHOOL****CONDITIONS, KEY CRITERIA:**

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TELE/ DATA VIDEO SYSTEM	TYPE	MANUFACTURER	CCTV	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	HARDWIRE & WIFI	UNKNOWN	NO	1953/2005	FAIR
OFFICES:	HARWIRE	UNKNOWN	NO	1961	FAIR
LIBRARY:	HARDWIRE & WIFI	UNKNOWN	NO	1953/2005	FAIR
GYM/ CAFETERIA:	NONE				

LOCAL SOUND SYSTEMS	TYPE	MANUFACTURER	CONTROLS	DATE OF INSTALLATION	CONDITIONS
GYM/ CAFETERIA	PA SYSTEM	DUKANE		1953	POOR

	TYPE:	MANUFACTURER:	CONTROLS	DATE OF INSTALLATION	CONDITIONS
EMERGENCY LIGHTING:	LIGHTED	UNKNOWN	BATTERY B/U	1961	POOR
EXIT LIGHTING:	NONE				

	TYPE:	MANUFACTURER:	NOTIFICATIONS	DATE OF INSTALLATION	CONDITIONS
FIRE ALARM SYSTEM:	CONVENTIONAL	NOTIFIER	AUDIO/VISUAL	1961	POOR

FIRE ALARM DEVICES	DETECTOR TYPE	ALARM SIGNAL TYPE	PULL STATION	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	HEAT DETECTION	NONE		1961	POOR
OFFICES:	HEAT DETECTION	NONE		1961	POOR
LIBRARY:	HEAT DETECTION	NONE		1961	POOR
AUDITORIUM / STAGE:	N/A			1961	POOR
GYM/ CAFETERIA:	HEAT DETECTION	NONE	YES	1961	POOR
LOBBY / CORRIDOR:	SMOKE	AUDIO/VISUAL	YES	1961	POOR
KITCHEN:	N/A				
STORAGE / SERVICE:	HEAT DETECTION	NONE		1961	POOR
TOILETS:	HEAT DETECTION	NONE		1961	POOR

NOTES:

CLASSROOMS DO NOT HAVE FIRE ALARM STROBE DEVICES OR EMERGENCY LIGHTING.

ARCHITECTURAL FEASIBILITY STUDY**McGUIRE ELEMENTARY SCHOOL****CONDITIONS, KEY CRITERIA:**

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HEATING & VENTILATION - McGUIRE ELEMENTARY

CENTRALIZED SYSTEMS	ENERGY SOURCE	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
HEATING EQUIPMENT #1:	NAT GAS	BOILER - HW/STM	WEIL McLAIN	2007	5 GOOD
COOLING EQUIPMENT #1:	N/A	-	-	-	
EXHAUST EQUIPMENT #1:	ELECT.	ROOF FAN	-	ORIGINAL	2 POOR

DISTRUBUTION SYSTEMS	SIZE	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
HEATING DISTRUBUTION EQUIPMENT:	PUMPS (2) - 3/4HP 1/3HP	INLINE	TACO	2007	5 GOOD
COOLING DISTRUBUTION EQUIPMENT:	N/A	-	-	-	
AIR DISTRIBUTION EQUIPMENT:	N/A	-	-	-	

TERMINAL EQUIPMENT	TYPE	MANUFACTURER	CONTROLS	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS (1930):	STEAM RAD.	-	NONE	ORIGINAL	3 FAIR
TYPICAL CLASSROOMS (1953):	CAB UH	-	ELECTRONIC	ORIGINAL	3 FAIR
OFFICES:	BB	-	ELECTRONIC	ORIGINAL	3 FAIR
LIBRARY:	UV & EF	-	ELECTRONIC	ORIGINAL	2 POOR
CAF/GYMNASIUM:	BB & HW UH	-	ELECTRONIC	ORIGINAL	3 FAIR

NOTES:

1)THERE ARE TWO BOILERS, ONE STEAM FOR THE OLDER BUILDING AND ONE HW FOR THE NEWER BUILDING. BOILERS WERE CONVERTED FROM OIL TO DUAL FUEL IN 2011. BOTH ARE WEIL McLAIN 688 1700MBH IN 1400 OUT.

2) NO CENTRAL COOLING. WINDOW A/C IN SELECT AREAS.

3)CLASSROOMS HAVE CABINET HEATERS OR RADIATORS. NO VENTILATION OR EXHAUST.

4)BB AND CONVECTORS IN HALLWAYS, OFFICES, BATHROOMS, ETC.

5)GYM HAS BB AND HOT WATER UNIT HEATERS THAT SEEMS TO HAVE BEEN ADDED AFTER THE FACT, NO VENTILATION.

6) CRAWLSPACE FOR PIPING.

7) STEAM SYSTEM IS SINGLE PIPE LOW PRESSURE STEAM. NO CONDENSATE PUMP OR PIPING.

ARCHITECTURAL FEASIBILITY STUDY

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PLUMBING SYSTEM

SERVICE	PIPE SIZE	METER SIZE	PRESSURE REGULATOR	OPER PRESSURE	PIPE MATERIAL	SOURCE	AGE	MISCELLANEOUS
WATER:	2"	2"	N/A	CITY	COPPER	MUNICIPAL	1953	NO BFP
GAS:	4"	2"	N/A	4-5" W.C.	STEEL	UTILITY	2007	5000 CFH

SYSTEM	PIPE MATERIAL/CONDITION	TYPE INSULATION/ CONDITION	MISCELLANEOUS
DOMESTIC COLD WATER:	COPPER/FAIR	FIBERGLASS	INFRASTRUCTURE IS ORIGINAL
DOMESTIC HOT WATER:	COPPER/FAIR	FIBERGLASS	INFRASTRUCTURE IS ORIGINAL
SANITARY WASTE & VENT:	CAST IRON/FAIR		INFRASTRUCTURE IS ORIGINAL
STORM DRAINAGE:	CAST IRON/FAIR		INFRASTRUCTURE IS ORIGINAL
GAS:	STEEL/GOOD		
NON-POTABLE (LAB) CW:	N/A		
NON-POTABLE (LAB) HW:	N/A		
ACID (LAB) WASTE & VENT:	N/A		
KITCHEN WASTE:	N/A		
TEMPERED WATER:	N/A		

EQUIPMENT	TYPE/FUEL	AGE	CONDITION	MISCELLANEOUS
DOMESTIC WATER HEATER:	ATMOSPHERIC/GAS	2006	5	A.O.SMITH GCVL 40 300
SANITARY EJECTOR PUMP:	N/A			
STORM EJECTOR PUMP:	N/A			
DOMESTIC WATER BOOSTER PUMP:	N/A			
INTERIOR KITCHEN GREASE TOP:	N/A			

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- 5- MONITOR FOR FUTURE MAINTENANCE

PLUMBING SYSTEM CONT.

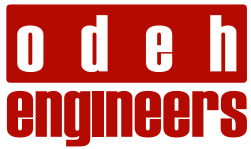
PLUMBING FIXTURES	TYPE/ INSTALLATION	LOW CONSUMPTION/ METERING	ACCESSIBLE	CONDITION	MISCELLANEOUS
WATER CLOSET:	FLUSH VALVE	NO		2	POOR CONDITION
URINAL:	FLUSH VALVE	NO		2	POOR CONDITION
LAVATORY:	WALL HUNG RECESSED	NO		2	POOR CONDITION
DRINKING FOUNTAIN/WATER COOLER:	BUBBLER	NO		1	POOR CONDITION
CLASSROOM SINK:	SELF RIMMING	NO		3	
CLASSROOM BUBBLER / DRINKING FOUNTAIN:	N/A				
MOP SINK:	JANITOR SINK			2	
SHOWERS:	N/A				

MISCELLANEOUS FIXTURES	MISCELLANEOUS
HOSE BIBB:	
WALL HYDRANT:	2
FLOOR DRAIN:	
EMERGENCY SHOWER / EYEWASH:	N/A
EMERGENCY EYEWASH:	N/A
LAB FAUCETS:	N/A
LAB GAS COCKS:	N/A

BOYS ROOM FLUSH VALVES HAVE BEEN REPLACED WITH SENSOR OPERATED FLUSH VALVES

NOTES:

IN GENERAL THE PLUMBING FIXTURES ARE IN FAIR TO POOR CONDITION AND IN NEED OF REPLACEMENT. THE WASTE AND WATER PIPING INFRASTRUCTURE IS ORIGINAL TO THE BUILDING. WE WOULD EXPECT CONTINUED MAINTENANCE/REPAIR AS THE SYSTEMS CONTINUE TO AGE. THE WATER HEATERS ARE RELATIVELY NEW AND APPEAR IN GOOD WORKING CONDITION. THE BOYS ROOM HAS NEW SENSOR OPERATED FLUSH VALVES - THE WATER SERVICE/METER IS LOCATED WITHIN A PLUMBING CHASE WITH NO ACCESS FOR MAINTENANCE OR BFP



1223 Mineral Spring Avenue
North Providence, Rhode Island 02904

January 2, 2014

Mr. Luis Torrado
L.A. Torrado Architects
35 Greenwich Street
Providence, Rhode Island 02907

RE: James L. McGuire Elementary School Facilities Assessment - Structural

Transmitted via email (la.torrado@verizon.net)

Dear Luis:

Per your request, this office has conducted an inspection and assessment of the structural elements of the James L. McGuire Elementary School buildings. The following is a summary of the investigation and recommendations.

Standard of Care and Use of Report

Please note that the results of this investigation are limited to visual observations of the accessible areas of the building only. While we have made our best efforts to investigate the building structure, many conditions were concealed by architectural finishes or were otherwise inaccessible, and therefore additional damage or other unforeseen conditions not included in this report may be present. The findings of this report therefore represent our best professional opinion based on the information available to us at this time. This report is for use by L.A. Torrado Architects and the North Providence School Department to assess the existing structural condition of the James L. McGuire Elementary School buildings.

Actions Taken

Odeh Engineers, Inc. undertook the following actions to complete this structural assessment:

- On Tuesday, December 3, 2013, Odeh Engineers' Field Engineer, Paul Wilkinson, inspected and assessed the James L. McGuire Elementary School buildings. Where encountered, the Field Engineer documented and photographed existing deficiencies in the structural elements of the building, or potential problem areas that could lead to structural deficiencies.
- Subsequent to the site visit, the Field Engineer reviewed his observations, findings and photographs with Principal Engineer, M. David Odeh, P.E.
- Odeh Engineers has prepared this written summary of findings and recommendations.

Phone: 401.724.1771

Fax: 401.724.1981

Documents Reviewed

There were no structural drawings for the James L. McGuire Elementary School buildings made available to Odeh Engineers at the time of authoring this structural assessment report.

Key Plan



FIGURE 1 – *This photograph is an aerial image of the James L. McGuire Elementary School buildings. Note that north is vertically up in this image.*

Summary of Existing Conditions

The James L. McGuire Elementary School buildings appeared to be in good structural condition with the exception of the following potential problem area:

1. The downspout from one of the roof drains along the northeast side of the building has been damaged. (Please refer to the Photo #1 below.) **Comments and Recommendations:** *The damaged downspout must be repaired to divert water away from the foundations of the school building.*



PHOTO #1 – *This photograph shows the damaged roof drain downspout located along the northeast side of the school building.*

We trust that this report meets your needs at this time. Should you wish to proceed with a more detailed study or design, Odeh Engineers would be pleased to provide these additional services for the project. In the meantime, please do not hesitate to contact this office if you have any questions or require additional information.

Sincerely,

M. David Odeh, P.E.
Principal

Paul Wilkinson
Field Engineer

Inspection #: 13-1308-IS
Inspection Type: Existing Educational Occupancies

Reference Number: 13-1308-IS
Description: NARRATIVE FOR SENIOR FIRE INSPECTOR CYNTHIA H DEHLER
Entered: 0130-Dehler, Cynthia 09/19/2013 1219
Modified: 0130-Dehler, Cynthia 09/19/2013 1219

Town of North Providence
Charles Lombardi Mayor
2000 Smith Street
North Providence, RI 02911

Dear Charles Lombardi:

Enclosed is a list of deficiencies found during our 09/13/2013 inspection of your property located at 55 CENTRAL AVE, NORTH PROVIDENCE.

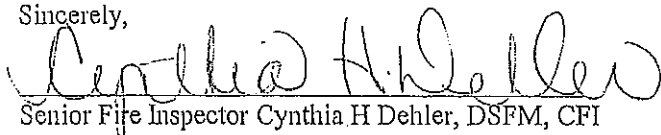
Under the authority granted by section 23-28.2-20.1 of the Rhode Island State Fire Safety Code, you are hereby notified that the violations cited shall be corrected within **30 days** from receipt of this letter or prior to occupancy of this facility if a certificate of occupancy has not been issued.

If you feel that there will be practical difficulties in correcting the violations or if for any reason you wish to have a hearing on the violation(s), you may apply in writing to the State Fire Safety Code Board of Appeal and Review for a variation or to have your concerns addressed. Applications for variations are done on a separate form available from this office. Requests for a variation or a formal hearing before the State Fire Safety Code Board of Appeal and Review must be submitted within 30 days of receipt of this notice. Failure to apply within the **30 day** period will cause this notice to become a compliance order and will subject you to prosecution under the Rhode Island State Fire Safety Code should you fail to correct all of the violations noted in the enclosed report.

Please contact Senior Fire Inspector Cynthia H Dehler at 401-462-4206 and refer to Inspection # 13-1308-IS should you need additional assistance on this matter.

Any violation, deficiency or requirement, which may have been overlooked in the course of this inspection, is also subject to correction under the provisions of any applicable code.

Sincerely,


Senior Fire Inspector Cynthia H Dehler, DSFM, CFI

RHODE ISLAND DEPARTMENT OF PUBLIC SAFETY

State Fire Marshal

118 Parade Street, Providence RI 02909

Telephone: (401) 462-4200 — Fax: (401) 462-425

Colonel Steven G. O'Donnell
Commissioner, Department of Public Safety
Superintendent, Rhode Island State Police

John E. Chartier, EFO
State Fire Marshal
Division of the State Fire Marshal

55 CENTRAL AVE

NORTH PROVIDENCE, RI 02908

09/17/2013

Site # 407-97

Building Description

This facility has been inspected under the Rhode Island Life Safety Code, 2012 Edition, Chapter 15 - Existing Educational Occupancies, and all other referenced standards. This facility is an elementary school with grades k through grade five.

This is a one story Type II (III) building slab on grade attached to a two story Type III (211) over a full basement, which lies 50% below grade. This facility is heated with two (2) oil-fired steam and FHW boilers.

The basement of this facility consists of two (2) rooms for special education, a boiler room, two (2) small group rooms and a library. The first floor consists of the gym/cafeteria area, a conference room, principal's office, main office, a kitchen area, nurse's office, bathrooms and eight (8) classrooms. The second floor of this facility consists of a resource room, two (2) small offices off of the stairwells and four (4) classrooms.

There are six (6) primary means of egress from this facility. The gym/cafeteria has a set of double doors that leads directly to the outside. Classrooms, 1, 2, 3, and 4 have doors that lead directly to the outside. The second floor has two (2) stairwells that lead to ground and classroom #10 has an exit door that leads to a fire escape. Classroom #12 has an intervening door to room #10 to fire escape.

This facility maintains a fire alarm system with emergency forces notification via box #6413 which was last tested on August 19, 2013. The older section of this facility has a sprinkler system in the stairwells and common corridors. This sprinkler system was also last tested on August 19, 2013. There are portable fire extinguishers placed throughout this facility and are properly tagged 2013. There is also a fire drill switch that is located in the principal's office. A key access box is located at the main entrance of this facility.



Rhode Island Division of State Fire Marshal's
Inspection Report

Page: 1
09/19/2013

Inspection #: 13-1308-IS
Inspection Type: Existing Educational Occupancies

Entered: 09/13/2013
Status: Completed
Completed: 09/13/2013
Disposition: Noncompliant
Paid: No
Check: MUNICIPAL

By: Senior Fire Inspector Cynthia H Dehler
By: Senior Fire Inspector Cynthia H Dehler

Location

MCGUIRE ELEMENTARY SCHOOL
55 CENTRAL AVE
NORTH PROVIDENCE RI 02908

Owner

Name: Town of North Providence
First Name: Charles
Last Name: Lombardi
Title: Mayor
Street: 2000 Smith Street
City/Town: North Providence
State: RI
Zip Code: 02911

Occupant

Name: McGuire Elementary School
First Name: Tom
Last Name: Meagher
Title: Principal
Street: 55 Central Avenue
City/Town: North Providence
State: RI
Zip Code: 02911

Inspection #: 13-1308-IS
Inspection Type: Existing Educational Occupancies

Violations

<u>Violation #</u>	<u>Discovered</u>	<u>Resolved</u>	<u>Description</u>
13-1163-VN		N	At time of inspection, it was unclear as to the interior finish of the carpeting on the columns in the gym/cafeteria area.
13-1150-VN		N	The stairwells lack smoke detection at each floor landing.
Board Decision #080366 grants a time variance prior to the commencement of the 2014-2015 academic year in September of 2014, to correct this deficiency.			
13-1159-VN		N	At time of inspection, the electrical/boiler room located in the basement had storage closer than 3' to electrical panels.
13-1172-VN		N	The horn/strobes throughout this facility are not three pulse temporal as required.
A time variance was granted in File No: 080366 in order to allow the fire alarm to be upgraded prior to the commencement of the 2014 - 2015 academic year in September of 2014.			
13-1173-VN		N	The Boiler room doors lack self closing devices.
A time variance was granted in File No: 080366 in order to allow the fire alarm to be upgraded prior to the commencement of the 2014 - 2015 academic year in September of 2014.			
13-1174-VN		N	The pipe chase off of the janitor's closet lacks fire alarm coverage.
A time variance was granted in File No: 080366 in order to allow the fire alarm to be upgraded prior to the commencement of the 2014 - 2015 academic year in September of 2014.			
13-1175-VN		N	The emergency light located near Room #2, was not functioning, at time of inspection.
13-1176-VN		N	At time of inspection, Room #12 on the second floor had a designated window for escape that would not stay open.
13-1177-VN		N	Basement Room #14A English Language learning corridor to exterior exit lacks smoke detection.

Board Decision #080366 grants a time variance prior to the commencement of the 2014-2015 academic year in September of 2014, to correct this deficiency.

Inspection #: 13-1308-IS
Inspection Type: Existing Educational Occupancies

13-1178-VN	N	At time of inspection, Classrooms # 1& #2, Door leading to the outside in the library and the Nurse's office, required excessive force to open exit doors that lead directly to the outside.
13-1179-VN	N	At time of inspection, the teacher's breakroom near the gym door to hallway not closing properly. (Due to being chocked open)
13-1180-VN	N	At time of inspection, the double doors that are equipped with mag locks in the hallway were not closing properly. (Left door should be closing first so doors will close smoke tight)
13-1181-VN	N	At time of inspection, the exit to the outside from the library, was being partially blocked by the teacher's desk.
13-1182-VN	N	The gym/cafeteria lacks sufficient emergency lighting.
13-1183-VN	N	At time of inspection, the manual fire alarm box (pull station) located in the library was partially blocked by the ceiling tiles.
13-1185-VN	N	The library, reading room, resource & special education rooms are located in the basement and are below the level of discharge with a secondary means of escape that does not meet dimensional criteria.

Variance granted in File No.: 080366 to allow the existing dimensions of the cited means of egress system from the cited areas, based on structural hardship.

13-1153-VN	N	At time of inspection, the horn/strobe units were not three pulse temporal, as required.
------------	---	--

Board Decision #080366 grants a time variance prior to the commencement of the 2014-2015 academic year in September of 2014, to correct this deficiency.

Violation #: 13-1172-VN

Priority: Correct as outlined in Board Decision

Issued/Location

MCGUIRE ELEMENTARY SCHOOL
55 CENTRAL AVE
NORTH PROVIDENCE, RI 02908

Fire Alarm

Description

The horn/strobes throughout this facility are not three pulse temporal as required.

Solution

A time variance was granted in File No: 080366 in order to allow the fire alarm to be upgraded prior to the commencement of the 2014 - 2015 academic year in September of 2014.

Regulations

72 - 18.4.2 Distinctive Evacuation

To meet the requirements of Section 10.10, the alarm audible signal pattern used to notify building occupants of the need to evacuate (leave the building) or relocate (from one area to another) shall be the standard alarm evacuation signal consisting of a three-pulse temporal pattern. The pattern shall be in accordance with Figure 18.4.2.1 and shall consist of the following in this order:

- (1) "On" phase lasting 0.5 second ± 10 percent
- (2) "Off" phase lasting 0.5 second ± 10 percent for three successive "on" periods
- (3) "Off" phase lasting 1.5 seconds ± 10 percent

Inspections

Rhode Island Division of State Fire Marshal's
Violation Report

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09/19/2013

Violation #: 13-1172-VN

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1308-IS	09/13/2013	Noncompliant	MCGUIRE ELEMENTARY SCHOOL	Dehler, Cynthia

Rhode Island Division of State Fire Marshal's
Violation Report

Page: 1
09/19/2013

Violation #: 13-1173-VN

Priority: Correct as outlined in Board Decision

Issued Location

MCGUIRE ELEMENTARY SCHOOL
55 CENTRAL AVE
NORTH PROVIDENCE, RI 02908

Stairwell doors

Description

The Boiler room doors lack self closing devices.

Solution

A time variance was granted in File No: 080366 in order to allow the fire alarm to be upgraded prior to the commencement of the 2014 - 2015 academic year in September of 2014.

Regulations

101 - 7.2.1.8 Self-Closing Devices.

A door leaf normally required to be kept closed shall not be secured in the open position at any time and shall

be self-closing or automatic-closing in accordance with 7.2.1.8.2, unless otherwise permitted by 7.2.1.8.3

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1308-IS	09/13/2013	Noncompliant	MCGUIRE ELEMENTARY SCHOOL	Dehler, Cynthia

Violation #: 13-1174-VN

Priority: Correct as outlined in Board Decision

Address/Location

MCGUIRE ELEMENTARY SCHOOL
55 CENTRAL AVE
NORTH PROVIDENCE, RI 02908

Pipe chase off of the janitor's closet

Description

The pipe chase off of the janitor's closet lacks fire alarm coverage.

Solution

A time variance was granted in File No: 080366 in order to allow the fire alarm to be upgraded prior to the commencement of the 2014 - 2015 academic year in September of 2014.

Regulations

2328 - 9.6.2.11

Where required by Chapters 11 through 43, an automatic fire detection

system for initiation of the signaling system shall be provided in accordance with all of the following:

(add) (1) Smoke detectors installed in accordance with NFPA 72, National Fire

Alarm and Signaling Code, shall be provided in all common corridors, lobbies, top of all stairwells, stairwell landings at each floor level, elevator machine rooms and machine spaces, and all elevator landings.

(add) (2) Combination rate of rise and one hundred thirty-five degrees (135°) F to one hundred forty degrees (140°) F fixed temperature heat detectors installed

in accordance with NFPA 72, National Fire Alarm and Signaling Code, shall be provided in kitchens within dwelling units, storage rooms greater than 24 square feet, utility rooms, electrical rooms, mechanical equipment rooms, maintenance

Rhode Island Division of State Fire Marshal's
Violation Report

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09/19/2013

Violation #: 13-1174-VN

shops, locker rooms, projection booths, above stage areas.
below accessible stage
areas, integral or attached garages and elevator hoistways.

Inspection # 13-1308-IS Date 09/13/2013 Status Noncompliant Location MCGUIRE ELEMENTARY SCHOOL Inspector/Group Dehler, Cynthia

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1308-IS	09/13/2013	Noncompliant	MCGUIRE ELEMENTARY SCHOOL	Dehler, Cynthia

Rhode Island Division of State Fire Marshal's
Violation Report

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09/19/2013

Violation #: 13-1175-VN

Priority: Correct as outlined in cover letter

Address/Location

MCGUIRE ELEMENTARY SCHOOL
55 CENTRAL AVE
NORTH PROVIDENCE, RI 02908

Near Room #2

Description

The emergency light located near Room #2, was not
functioning, at time of inspection.

Regulations

1 - 4.5.8

Whenever or wherever any device, equipment, system,
condition, arrangement, level of protection, or any other
feature is required for compliance with the provisions of
this Code, such device, equipment, system, condition,
arrangement, level of protection, or other feature shall
thereafter be continuously maintained, unless the Code
exempts such maintenance.

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1308-IS	09/13/2013	Noncompliant	MCGUIRE ELEMENTARY SCHOOL	Dehler, Cynthia

Rhode Island Division of State Fire Marshal's
Violation Report

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Violation #: 13-1176-VN

Priority: Correct as outlined in cover letter

Issued/Location

MCGUIRE ELEMENTARY SCHOOL
55 CENTRAL AVE
NORTH PROVIDENCE, RI 02908

2nd Floor Room #12

Description

At time of inspection, Room #12 on the second floor had a designated window for escape that would not stay open.

Regulations

1 - 4.5.8

Whenever or wherever any device, equipment, system, condition, arrangement, level of protection, or any other feature is required for compliance with the provisions of this Code, such device, equipment, system, condition, arrangement, level of protection, or other feature shall thereafter be continuously maintained, unless the Code exempts such maintenance.

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1308-IS	09/13/2013	Noncompliant	MCGUIRE ELEMENTARY SCHOOL	Dehler, Cynthia

Violation #: 13-1177-VN

Priority: Correct as outlined in Board Decision

Address/Location

MCGUIRE ELEMENTARY SCHOOL
55 CENTRAL AVE
NORTH PROVIDENCE, RI 02908

Basement room for English Language Learning

Description

Basement Room #14A English Language learning corridor to exterior exit lacks smoke detection.

Solution

Board Decision #080366 grants a time variance prior to the commencement of the 2014-2015 academic year in September of 2014, to correct this deficiency.

Regulations

2328 - 9.6.2.11

Where required by Chapters 11 through 43, an automatic fire detection

system for initiation of the signaling system shall be provided in accordance with all of the following:

(add) (1) Smoke detectors installed in accordance with NFPA 72, National Fire

Alarm and Signaling Code, shall be provided in all common corridors, lobbies, top of all stairwells, stairwell landings at each floor level, elevator machine rooms and machine spaces, and all elevator landings.

Rhode Island Division of State Fire Marshal's
Violation Report

Page: 2
09/19/2013

Violation #: 13-1177-VN

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1308-IS	09/13/2013	Noncompliant	MCGUIRE ELEMENTARY SCHOOL	Dehler, Cynthia

Violation #: 13-1178-VN

Priority: Correct as outlined in cover letter

Subject/Location

MCGUIRE ELEMENTARY SCHOOL
55 CENTRAL AVE
NORTH PROVIDENCE, RI 02908

Classroom #1 & #2
Nurse's office
Door leading to the outside in the library

Description

At time of inspection, Classrooms # 1& #2, Door leading to the outside in the library and the Nurse's office, required excessive force to open exit doors that lead directly to the outside.

Regulations

101 - 7.2.1.4 Swing and Force to Open
Swinging-Type Door Assembly Requirement. Any door assembly in a means of egress shall be of the side-hinged or pivoted-swinging type, and shall be installed to be capable of swinging from any position to the full required width of the opening in which it is installed, unless otherwise specified as follows:
(1) Door assemblies in dwelling units, as provided in Chapter 24, shall be permitted.
(2) Door assemblies in residential board and care occupancies, as provided in Chapters 32 and 33, shall be permitted.
(3) Where permitted in Chapters 11 through 43, horizontal sliding or vertical-rolling security grilles or door assemblies that are part of the required means of egress shall be permitted, provided that all of the following criteria are met:
(a) Such grilles or door assemblies shall remain secured in the fully open position during the period of occupancy by the general public.
(b) On or adjacent to the grille or door opening, there shall be a readily visible, durable sign in letters not less than 1 in. (25 mm) high on a contrasting background that

Violation #: 13-1178-VN

reads as follows: THIS DOOR TO REMAIN OPEN
WHEN THE BUILDING IS OCCUPIED.

(c) Door leaves or grilles shall not be brought to the
closed position when the space is occupied.

(d) Door leaves or grilles shall be operable from within
the space without the use of any special knowledge or
effort.

(e) Where two or more means of egress are required, not
more than half of the means of egress shall be
equipped with horizontal-sliding or vertical-rolling
grilles or door assemblies.

(4) Horizontal-sliding door assemblies shall be permitted
under

any of the following conditions:

(a) Horizontal-sliding door assemblies in detention and
correctional occupancies, as provided in Chapters 22
and 23, shall be permitted.

(b) Horizontal-sliding door assemblies complying with
7.2.1.14 shall be permitted.

(c) Unless prohibited by Chapters 11 through 43,
horizontal-sliding door assemblies serving a room or
area with an occupant load of fewer than 10 shall be
permitted, provided that all of the following criteria
are met:

i. The area served by the door assembly has no
high hazard contents.

ii. The door assembly is readily operable from either
side without special knowledge or effort.

iii. The force required to operate the door assembly
in the direction of door leaf travel is not
more than 30 lbf (133 N) to set the door leaf in
motion and is not more than 15 lbf (67 N) to
close the door assembly or open it to the minimum
required width.

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1308-IS	09/13/2013	Noncompliant	MCGUIRE ELEMENTARY SCHOOL	Dehler, Cynthia

Rhode Island Division of State Fire Marshal's
Violation Report

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Violation #: 13-1179-VN

Priority: Correct as outlined in cover letter

Inspected/Inspection Area

MCGUIRE ELEMENTARY SCHOOL
55 CENTRAL AVE
NORTH PROVIDENCE, RI 02908

Breakroom near the gym

Description

At time of inspection, the teacher's breakroom near the gym door to hallway not closing properly. (Due to being chocked open)

Regulations

1 - 4.5.8

Whenever or wherever any device, equipment, system, condition, arrangement, level of protection, or any other feature is required for compliance with the provisions of this Code, such device, equipment, system, condition, arrangement, level of protection, or other feature shall thereafter be continuously maintained, unless the Code exempts such maintenance.

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1308-IS	09/13/2013	Noncompliant	MCGUIRE ELEMENTARY SCHOOL	Dehler, Cynthia

Rhode Island Division of State Fire Marshal's
Violation Report

Page: 1
09/19/2013

Violation #: 13-1180-VN

Priority: Correct as outlined in cover letter

Issued Location

MCGUIRE ELEMENTARY SCHOOL
55 CENTRAL AVE
NORTH PROVIDENCE, RI 02908

double doors in the hallway

Description

At time of inspection, the double doors that are equipped with mag locks in the hallway were not closing properly. (Left door should be closing first so doors will close smoke tight)

Regulations

1 - 4.5.8

Whenever or wherever any device, equipment, system, condition, arrangement, level of protection, or any other feature is required for compliance with the provisions of this Code, such device, equipment, system, condition, arrangement, level of protection, or other feature shall thereafter be continuously maintained, unless the Code exempts such maintenance.

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1308-IS	09/13/2013	Noncompliant	MCGUIRE ELEMENTARY SCHOOL	Dehler, Cynthia

Rhode Island Division of State Fire Marshal's
Violation Report

Page: 1
09/19/2013

Violation #: 13-1181-VN

Priority: Correct as outlined in cover letter

Subject/Location

MCGUIRE ELEMENTARY SCHOOL
55 CENTRAL AVE
NORTH PROVIDENCE, RI 02908

Library in the lower level

Description

At time of inspection, the exit to the outside from the library, was being partially blocked by the teacher's desk.

Regulations

101 - 7.1.10 Means of Egress Reliability
Means of egress shall be continuously maintained free of all obstructions or impediments to full instant use in the case of fire or other emergency.
7.1.10.2 Furnishings and Decorations in Means of Egress.
7.1.10.2.1 No furnishings, decorations, or other objects shall obstruct exits or their access thereto, egress therefrom, or visibility thereof.

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1308-IS	09/13/2013	Noncompliant	MCGUIRE ELEMENTARY SCHOOL	Dehler, Cynthia

Rhode Island Division of State Fire Marshal's
Violation Report

Page: 1
09/19/2013

Violation #: 13-1182-VN

Priority: Correct as outlined in cover letter

Issued Location

MCGUIRE ELEMENTARY SCHOOL
55 CENTRAL AVE
NORTH PROVIDENCE, RI 02908

Description

The gym/cafeteria lacks sufficient emergency lighting.

Regulations

101 - 15.2.9 Emergency Lighting.

Emergency lighting shall be provided in accordance
with Section 7.9, unless otherwise permitted by 15.2.9.2.

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1308-IS	09/13/2013	Noncompliant	MCGUIRE ELEMENTARY SCHOOL	Dehler, Cynthia

Violation #: 13-1183-VN

Priority: Correct as outlined in cover letter

Issued/Location

MCGUIRE ELEMENTARY SCHOOL
55 CENTRAL AVE
NORTH PROVIDENCE, RI 02908

Library

Description

At time of inspection, the manual fire alarm box (pull station) located in the library was partially blocked by the ceiling tiles.

Regulations

101 - 9.6.2.7*

Each manual fire alarm box on a system shall be accessible, unobstructed, and visible.

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1308-IS	09/13/2013	Noncompliant	MCGUIRE ELEMENTARY SCHOOL	Dehler, Cynthia

Violation #: 13-1185-VN

Priority: Correct as outlined in Board Decision

Issue/Location

MCGUIRE ELEMENTARY SCHOOL
55 CENTRAL AVE
NORTH PROVIDENCE, RI 02908

Library, reading room, resource & special education rooms

Description

The library, reading room, resource & special education rooms are located in the basement and are below the level of discharge with a secondary means of escape that does not meet dimensional criteria.

Solution

Variance granted in File No.: 080366 to allow the existing dimensions of the cited means of egress system from the cited areas, based on structural hardship.

Regulations

101 - 15.2.1 General.

Means of egress shall be in accordance with Chapter 7 and Section 15.2.

15.2.1.2 Rooms normally occupied by preschool, kindergarten, or first-grade students shall be located on a level of exit discharge, unless otherwise permitted by 15.2.1.4.

15.2.1.3 Rooms normally occupied by second-grade students shall not be located more than one story above a level of exit discharge, unless otherwise permitted by 15.2.1.4.

15.2.1.4 Rooms or areas located on floor levels other than as specified in 15.2.1.2 and 15.2.1.3 shall be permitted to be used where provided with independent means of egress dedicated for use by the preschool, kindergarten, first-grade, or secondgrade students.

Rhode Island Division of State Fire Marshal's
Violation Report

Page: 2
09/19/2013

Violation #: 13-1185-VN

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1308-IS	09/13/2013	Noncompliant	MCGUIRE ELEMENTARY SCHOOL	Dehler, Cynthia

"AHERA"
ASBESTOS
RE-INSPECTION & MANAGEMENT PLAN

JANUARY 2013

at the:

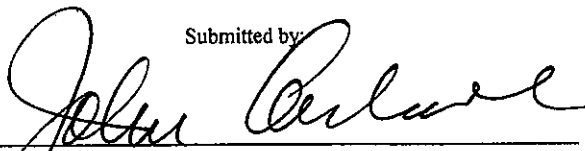
**MCGUIRE
ELEMENTARY SCHOOL**

55 Central Avenue
North Providence, RI 02911

For:

Armand Milazzo
Director of Non-Instructional Services
North Providence Public Schools

Submitted by:



John Carbone [RIDOH # 177 IS / MP]

VORTEX Inc.
3670 West Shore Road
Warwick, RI 02886

1-800-VORTEXX

☒ *Main copy*

☐ *School copy*

INTRODUCTION

Vortex, Inc. conducted a 3 year Re-inspection of friable and non-friable asbestos-containing building material(s) (ACBM) and "presumed" asbestos-containing building material(s) (PACM) at **McGuire Elementary School, North Providence, Rhode Island**. This Reinspection was performed in accordance with 40 CFR Part 763.85, AHERA FINAL RULE. This Reinspection was approved by the School's Local Education Agencies (LEA) (Armand Milazzo). This inspection was conducted on **January 31, 2013** by John Carbone from Vortex Inc. (RIDOH Asbestos Consultant Certificate #177 IS / MP).

The inspection was conducted in accordance with the AHERA Regulations. Original inspection reports as well as Re-inspection reports were utilized to ascertain the locations of the pre-assessed asbestos-containing building materials and all functional/accessible areas of the school building. These areas included; classrooms, utility closets, janitor's closets, above drop ceilings, and crawlspaces...etc. Building plans and reports were obtained through the school. The identified asbestos-containing building materials are denoted on the asbestos hazard inspection forms for further reference.

Assessment of the previously identified (original AHERA inspection and/or subsequent re-inspections) asbestos-containing materials consists of the information collected during the inspection portion of this project and the potential for the material to become damaged or significantly damaged. The assessment includes the following considerations; deteriorated condition, the friability of the material, vibration, water damage, air erosion, changes in the accessibility of the ACBM, new damage or increased damage to the ACBM, increase or decrease on the potential for significant damage or damage.

INSPECTION

The AHERA Re-inspection evaluation was conducted at **McGuire Elementary School** on **January 31, 2013**. At least once every 3 years after a management plan is in effect, each local education agency (LEA) shall have a Re-inspection evaluation performed by accredited and state certified individual(s). This Reinspection shall consist of all friable and nonfriable, known or assumed ACBM in each school building that they lease, own, or otherwise use as a school building. For each area of the school buildings, the inspector conducted the following assessment criteria:

- 1) Visually reinspect and reassess the condition of all known or assumed ACBM/PACM.
- 2) Visually inspected the material that was previously considered non-friable ACBM/PACM and touched the materials to determine whether it has become friable since the last Re-inspection.
- 3) Identified any homogenous areas with material that has become friable since the last Re-inspection.
- 4) For each homogenous area of newly friable material that is already assumed to be ACBM, bulk material samples were collected and submitted for asbestos analysis by a RI DOH certified laboratory.

5) Assessed the condition of the newly friable material in areas where samples were collected and newly friable materials that are assumed to be ACM. *Suspect ACM bulk material sampling/analysis was not performed as part of this re-inspection and shall remain assumed to contain asbestos.*

6) Reassessed the condition of the friable, known or assumed ACM previously identified.

7) Recorded the previous information for the submittal of this AHERA Re-inspection report and management plan.

Vortex, Inc. inspecting personnel utilized the original and the subsequent Re-inspection reports for this school building. This aided the inspection process and evaluation as to the location, amount, and former condition of the previously assessed asbestos-containing material(s) within the building. This management plan reports on all pre-assessed asbestos containing materials within the building whether there is a physical change or not. Refer to attached Chart of ACM and PACM for homogeneous areas.

ASSESSMENT

The previously identified asbestos-containing building material was identified within its current condition and assessed as to the potential for damage or significant damage. If previously assumed asbestos-contained material is observed to be friable and/or damaged, bulk material sample(s) shall be collected/analyzed for asbestos content. The previously identified asbestos-containing material were classified and categorized to determine the appropriate response actions. The identified, assumed, or suspect asbestos-containing building materials are homogenized under one (1) of the three (3) types of asbestos-containing building materials. They are either:

- 1) Thermal System Insulation
- 2) Surfacing Materials, and/or
- 3) Miscellaneous materials and insulation's

RECOMMENDED RESPONSE ACTIONS

Condition classifications of the asbestos containing building materials are utilized to help the inspector designate a response action in accordance with the AHERA Regulations per 40 CFR 763.88(b) to include:

- 1) *Damaged or significantly damaged thermal system insulation*
- 2) *Damaged friable surfacing ACM*
- 3) *Significantly damaged friable surfacing ACM*
- 4) *Damaged or significantly damaged friable miscellaneous ACM*
- 5) *ACBM with potential for damage.*
- 6) *ACBM with potential for significant damage*
- 7) *Any remaining friable ACM or friable suspect ACM*

RESPONSE ACTION KEYS USED WITHIN ATTACHED CHARTS

Key #	THERMAL INSULATION [T]
1	<i>Isolate area and restrict access.</i> Abate as soon as possible.
2	<i>Continue O&M.</i> Repair or remove as soon as possible, or reduce potential for disturbance.
3-5	<i>Repair, Continue O&M.</i> Number indicates priority if all cannot be done immediately.
6-7	<i>Continue O&M.</i> Take preventative measures to reduce disturbance. Number indicates priority for removal.
8	<i>Continue O&M</i> until major renovation or demolition requires removal under NESHAP's or until hazard factors change.

Key #	SURFACING MATERIALS [S]
1	<i>Isolate area and restrict access.</i> Abate as soon as possible.
2	<i>Continue O&M.</i> Repair or remove as soon as possible, or reduce potential for disturbance.
3	<i>Continue O&M.</i> Schedule removal when practical and cost-effective or reduce disturbance.
4-5	<i>Continue O&M.</i> Schedule removal when practical and cost effective. Number indicates priority for removal.
6-7	<i>Continue O&M.</i> Take preventative measures to reduce disturbance. Number indicates priority for removal.
8	<i>Continue O&M</i> until major renovation or demolition requires removal under NESHAP's or until hazard factors change.

Key #	MISCELLANEOUS MATERIALS [M]
1	<i>Isolate area and restrict access.</i> Abate as soon as possible.
2	<i>Continue O&M.</i> Repair or remove as soon as possible, or reduce potential for disturbance.
3	<i>Continue O&M.</i> Schedule removal when practical and cost-effective or reduce disturbance.
4-5	<i>Continue O&M.</i> Schedule removal when practical and cost effective. Number indicates priority for removal.
6-7	<i>Continue O&M.</i> Take preventative measures to reduce disturbance. Number indicates priority for removal.
8	<i>Continue O&M</i> until major renovation or demolition requires removal under NESHAP's or until hazard factors change.

TYPES OF ACM PRESENT

Refer to the original AHERA and subsequent/attached Re-Inspection Reports for PACM and ACBM locations.

In summary, Vortex Inc. conducted the required three (3) year AHERA Re-inspection at **McGuire Elementary School**. As a results of this Re-inspection, the following materials were observed and determined to be in need of repair and/or removal or changes since the most recent AHERA Re-inspection included:

REFER TO ATTACHED CHART OF ACM

PHYSICAL ASSESSMENT

THE REMAINING ACBM OR PACM WITHIN THIS SCHOOL BUILDING WAS INTACT AND IN GOOD CONDITION AT THE TIME OF THE RE-INSPECTION.

OUTSIDE CONTRACTORS

Prior to any outside contractor performing work that May disturb/impact the ACM or PACM building components (pipes, wall plasters, etc.) throughout this school building, they shall be informed (by the LEA) about the suspect material locations. The LEA shall collect/analyze (by a RIDOH licensed Asbestos Inspector) these materials to determine if they contain asbestos (>1%). All lab reports shall be inserted into the AHERA Management Planner book. If lab results confirm the material to contain asbestos, then a RI licensed contractor or competent person (<3') shall remove the ACM prior to repairs/renovation activities. In any event, the contractor shall complete the attached form OUTSIDE CONTRACTOR - ACKNOWLEDGEMENT STATEMENT FORM and it shall be inserted into the Management Planner.

STEPS TO INFORM BUILDING OCCUPANTS / GUARDIANS

Workers and building occupants, or their legal guardians shall be informed about Re-inspections, response actions, and post-response action activities, including periodic Re-inspection and surveillance activities that are planned or in progress through postings in the teachers lunch room and information sent home in the annual AHERA Notification letter sent out in early September of each year.

AHERA - ASBESTOS RE-INSPECTION OF ACM & PACM

McGUIRE ELEMENTARY SCHOOL

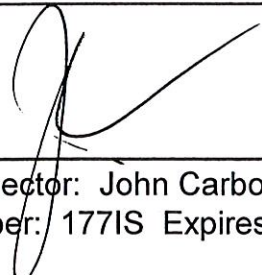
NORTH PROVIDENCE SCHOOL DEPARTMENT

Reinspection Date: 1/31/13

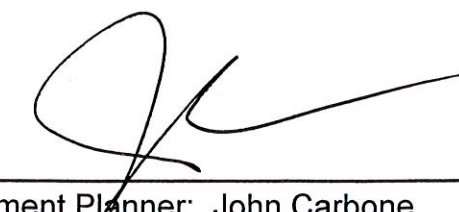
		INSPECTION FINDINGS FOR ACM & PACM																Initials of Surveillance Inspector				
		Type and Quantity																				
		FLOOR COVERING (NF)						CEILING TYPE (F)										Response Action				
Location of RACM	Floor	9" x 9" floor tile	12"x12" floor tile	WOOD	concrete	ceramic	carpet	PLASTER	1' x 1'	2' x 4'	2' X 2'	Wall Material	FRIABLE	DAMAGED	ACCESS	POTENT. DAMAGE	RESPONSE	7/13	1/14	7/14	1/15	7/15
		TSI	MISC.			MISC.		SURFACE	MISC	MISC.	MISC.	SURFACE										
PRINCIPAL		400						400				BL	N	N	Y	X	M8					
BATH RM	1					30		30				T	N	N	Y	X	M8					
OFFICE	1						200	200				BL	N	N	Y	X	M8					
GYM	1											BL	N	N	Y	X	M8					
STORAGE	1	200						20				BL	N	N	Y	X	M8					
KITCHEN	1						200	200				PN	N	N	Y	X	M8					
UNISEX	1					250		250				BL	N	N	Y	X	M8					
NURSE	1		150					150				BL	N	N	Y	X	M8					
HALL	1	2000									2000	BL	N	N	Y	X	M8					
RM 4	1	700								700		BL	N	N	Y	X	M8					
RM 3	1	700								700		BL	N	N	Y	X	M8					
RM 2	1	700								700		BL	N	N	Y	X	M8					
RM 1	1	700								700		BL	N	N	Y	X	M8					
HALL	1		350								350	PL	N	N	Y	X	M8					
LANDING	1		100					100				PL	N	N	Y	X	M8					
SPECIAL ED	B		400					400				BL	N	N	Y	X	M8					
STORAGE	B		200					200				BL	N	N	Y	X	M8					
LIBRARY	B							LIGHT				PN	N	N	Y	X	M8					
LANDING	B		100					100				PL	N	N	Y	X	M8					
BOILER ROOM	B							100				PL	N	N	Y	X	M8					
BASEMENT													N	N	Y	X	M8					
LANDING	B		200					200				PL/BR	N	N	Y	X	M8					
KINDER	B		200					LIGHT	GRID				N	N	Y	X	M8					
OFFICE	B		50							50		BL	N	N	Y	X	M8					
BATH	B		25					25				BL	N	N	Y	X	M8					
COMPUTER	B		400					LIGHT	GRID			BL	N	N	Y	X	M8					
LITERACY			400					LIGHT	GRID			BL	N	N	Y	X	M8					
RM 5	1		900					900				BL	N	N	Y	X	M8					
RM 6	1		900					900				BL	N	N	Y	X	M8					
RM 8	1		900					900				BL	N	N	Y	X	M8					
RM 7	1		900					900				BL	N	N	Y	X	M8					

		INSPECTION FINDINGS FOR ACM & PACM																Vortex Inc. Page 2 of 2							
																		Initials of Surveillance Inspector							
		Type and Quantity											Response Action												
		FLOOR COVERING (NF)						CEILING TYPE (F)										FRIABLE	DAMAGED	ACCESS	POTENT. DAMAGE	RESPONSE	6 MONTH SURVEILLANCES		
Location of RACM		9" x 9" floor tile	12"x12" floor tile	Sheet material	WOOD	ceramic	carpet	PLASTER	1' x 1'	2' x 4'	2' X 2'	Wall Material	Assess-ment			Change in Assess	Removal Priority	7/13	1/14	7/14	1/15	7/15			
LANDING	1		100					100				BL	N	N	Y	X	M8								
MID LANDING	1		100					100				BL	N	N	Y	X	M8								
RM 11	2		900					900				BL	N	N	Y	X	M8								
RM 12	2		900					900				BL	N	N	Y	X	M8								
RM 13	2		300					300				BL	N	N	Y	X	M8								
RM 9	2		900					900				BL	N	N	Y	X	M8								
RM 10	2		900					900				BL	N	N	Y	X	M8								
HALL	2		650					650				BL	N	N	Y	X	M8								
SPEECH	2				100			100				BL	N	N	Y	X	M8								
OT/PT	2				100			100				BL	N	N	Y	X	M8								

Code:
N = NO; Y = YES; T = THERMAL; S = SURFACING; M = MISCELLANEOUS
NC = NO CHANGE; R = REPAIRED; D = DAMAGED



Asbestos Inspector: John Carbone
License Number: 177IS Expires 3/31/13



Management Planner: John Carbone
License Number: 177MP Expires 3/31/13

I, the LEA's Designated Person, have read and understood the recommendations made above:

Date: 1/31/13

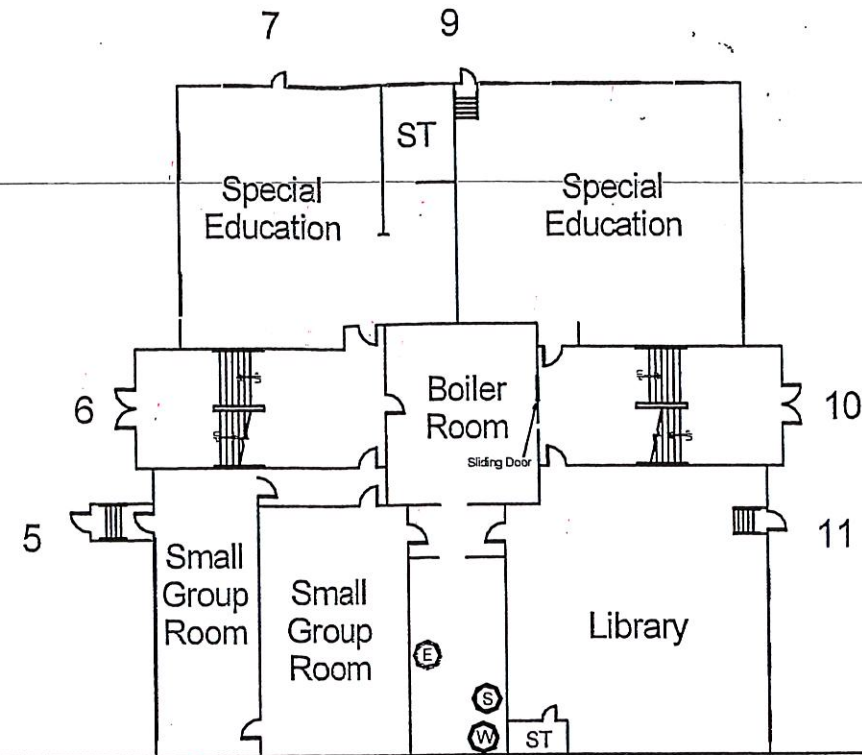
District:	North Providence Public Schools
Building Name:	McGuire Elementary School
Address:	55 Central Avenue North Providence, RI 02911

Basement

Side B

Side C

Side D



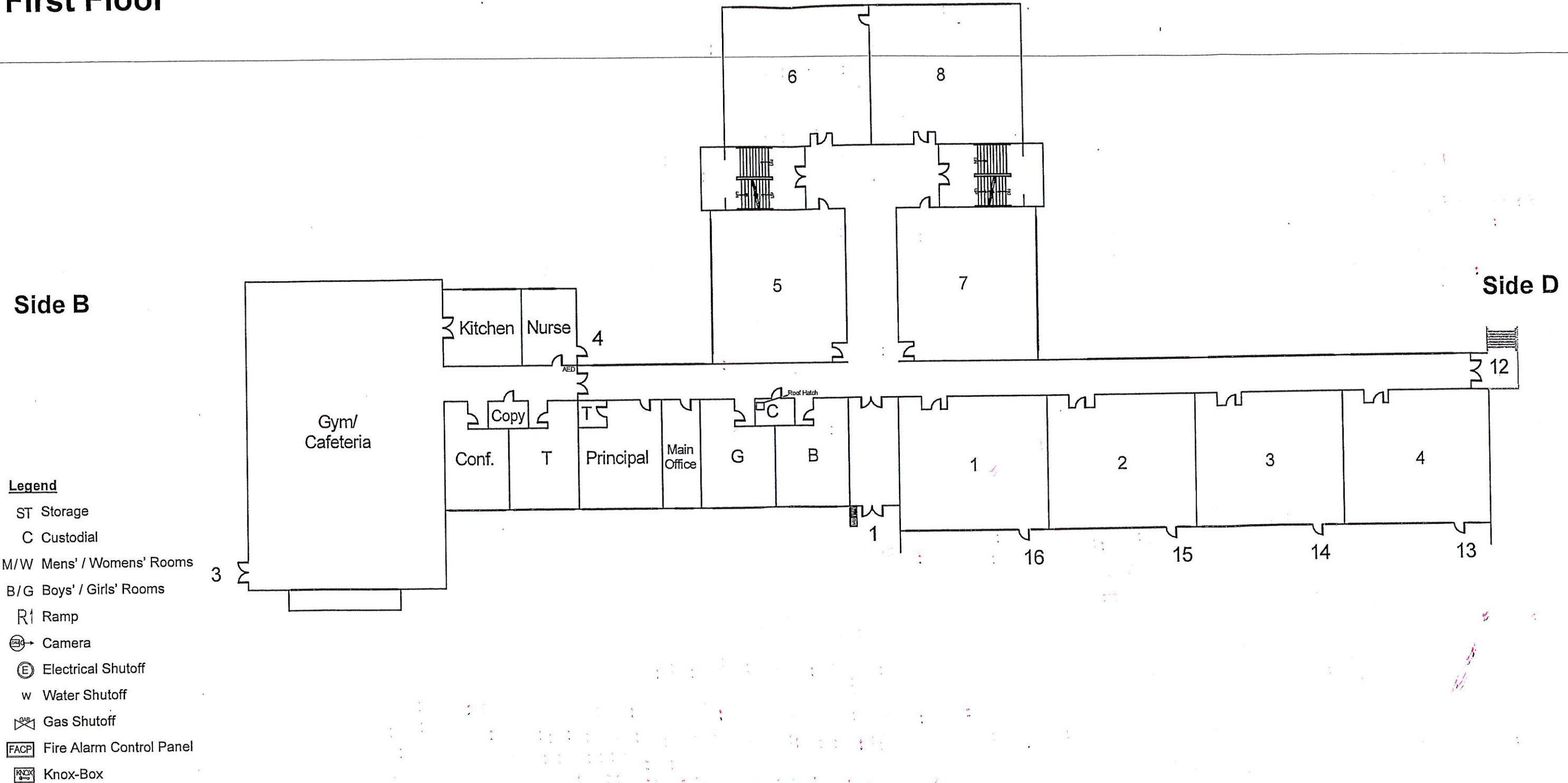
Legend

- ST Storage
- C Custodial
- M/W Mens' / Womens' Rooms
- B/G Boys' / Girls' Rooms
- R Ramp
- Camera
- Electrical Shutoff
- w Water Shutoff
- Gas Shutoff
- FACP Fire Alarm Control Panel
- Knox-Box

Side A

District:	North Providence Public Schools
Building Name:	McGuire Elementary School
Address:	55 Central Avenue North Providence, RI 02911

First Floor



District:	North Providence Public Schools
Building Name:	McGuire Elementary School
Address:	55 Central Avenue North Providence, RI 02911

Second Floor

Side B

Legend

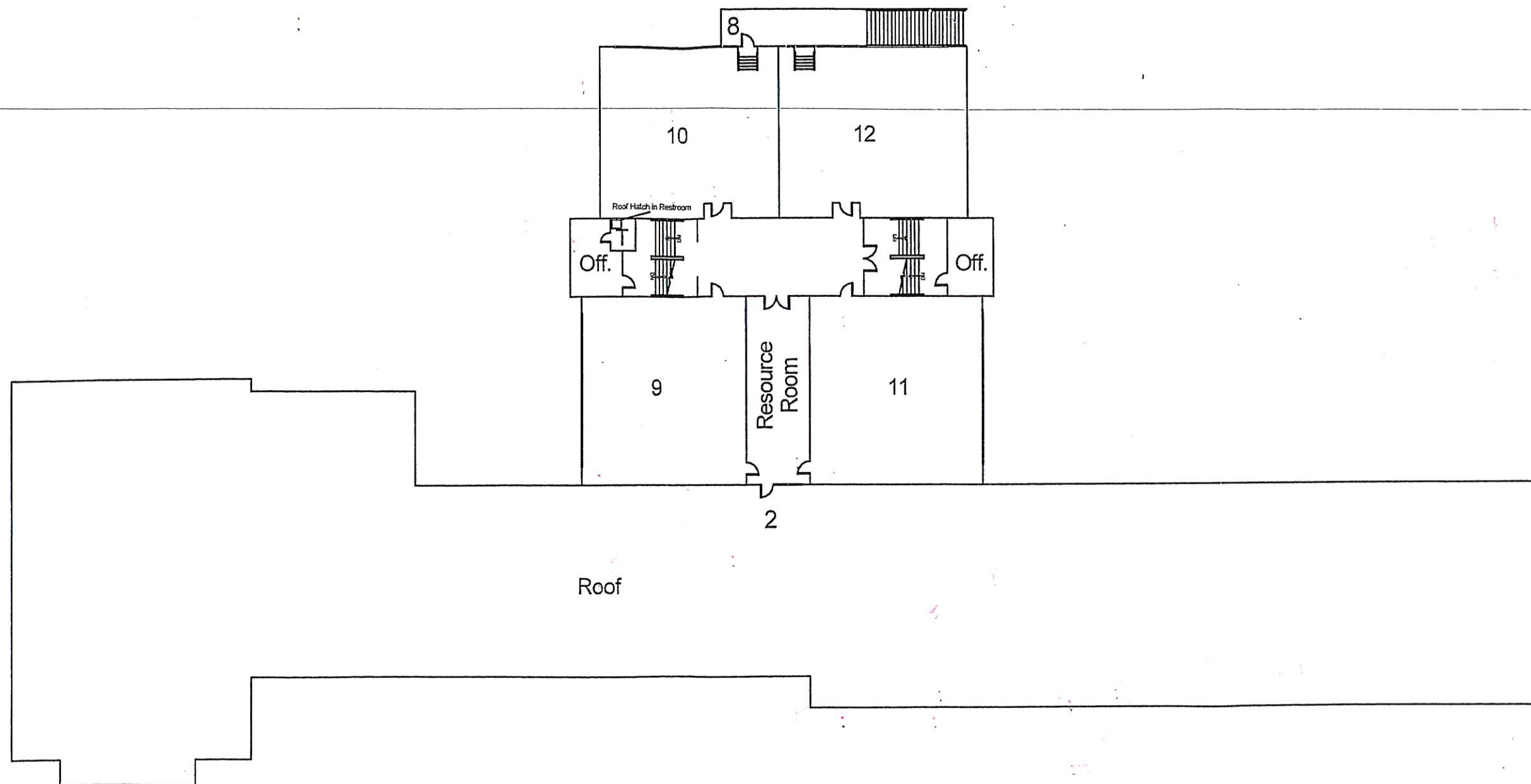
- ST Storage
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- Camera
- Electrical Shutoff
- w Water Shutoff
- Gas Shutoff
- Fire Alarm Control Panel
- Knox-Box



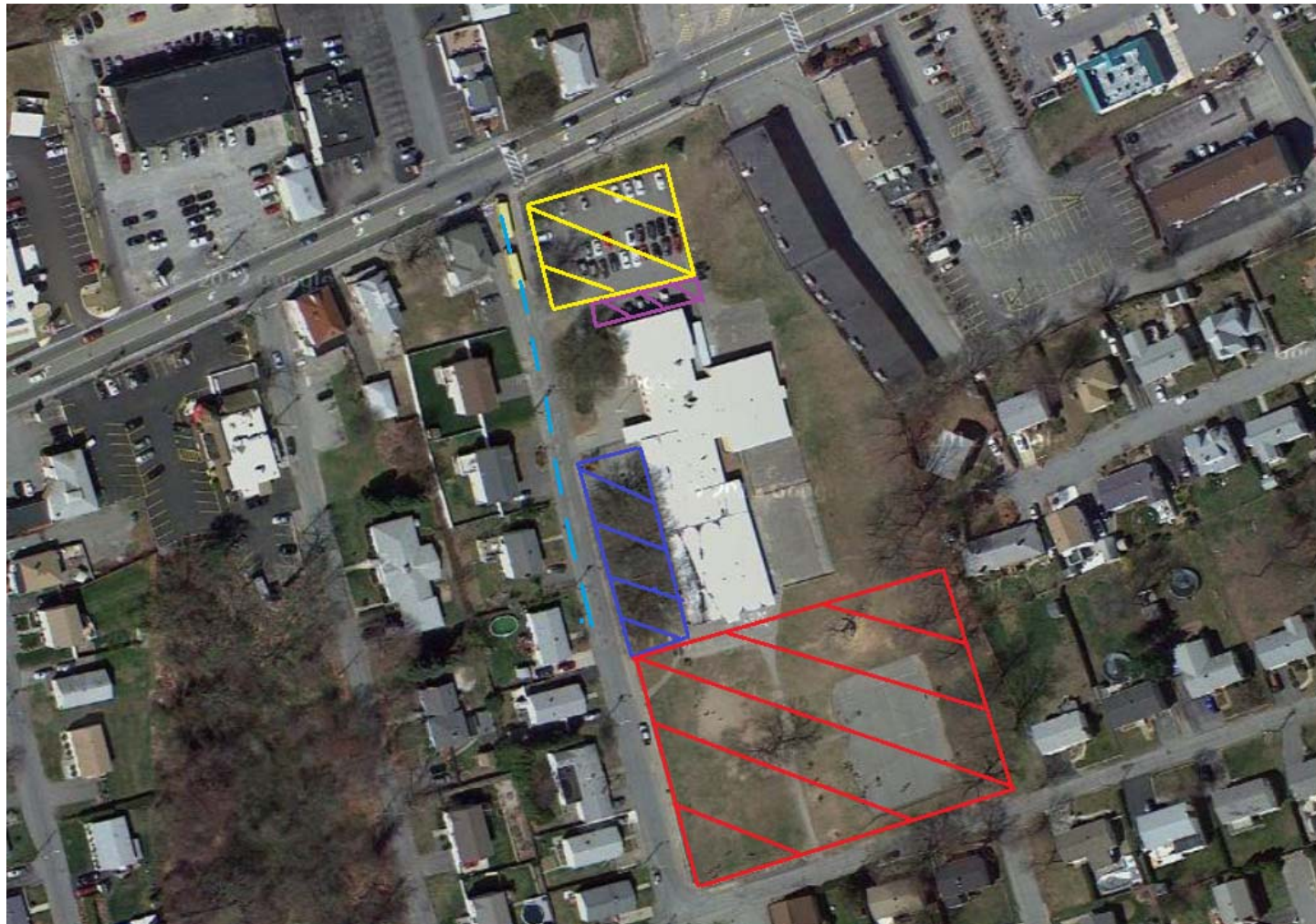
Side C

Side D

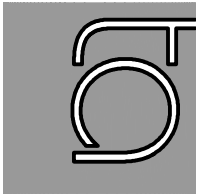
Side A



DR. JOSEPH A. WHELAN SCHOOL
1440 MINERAL SPRING AVENUE NORTH PROVIDENCE, RI 02904



- | | | | |
|---|---|---|---|
|  Play Fields |  Faculty Parking |  Parent Parking |  Visitor Parking |
|  Play Area |  Buses |  Parent drop off | |



TORADO
ARCHITECTS

28 GREENWICH ST.
PROVIDENCE, RI 02907
401.781.1555 P
401.781.1555 F

KEY PLAN

RENOVATIONS TO:

**NORTH
PROVIDENCE
PUBLIC
SCHOOLS**

**FACILITY
ASSESSMENT
PROJECT 2013**

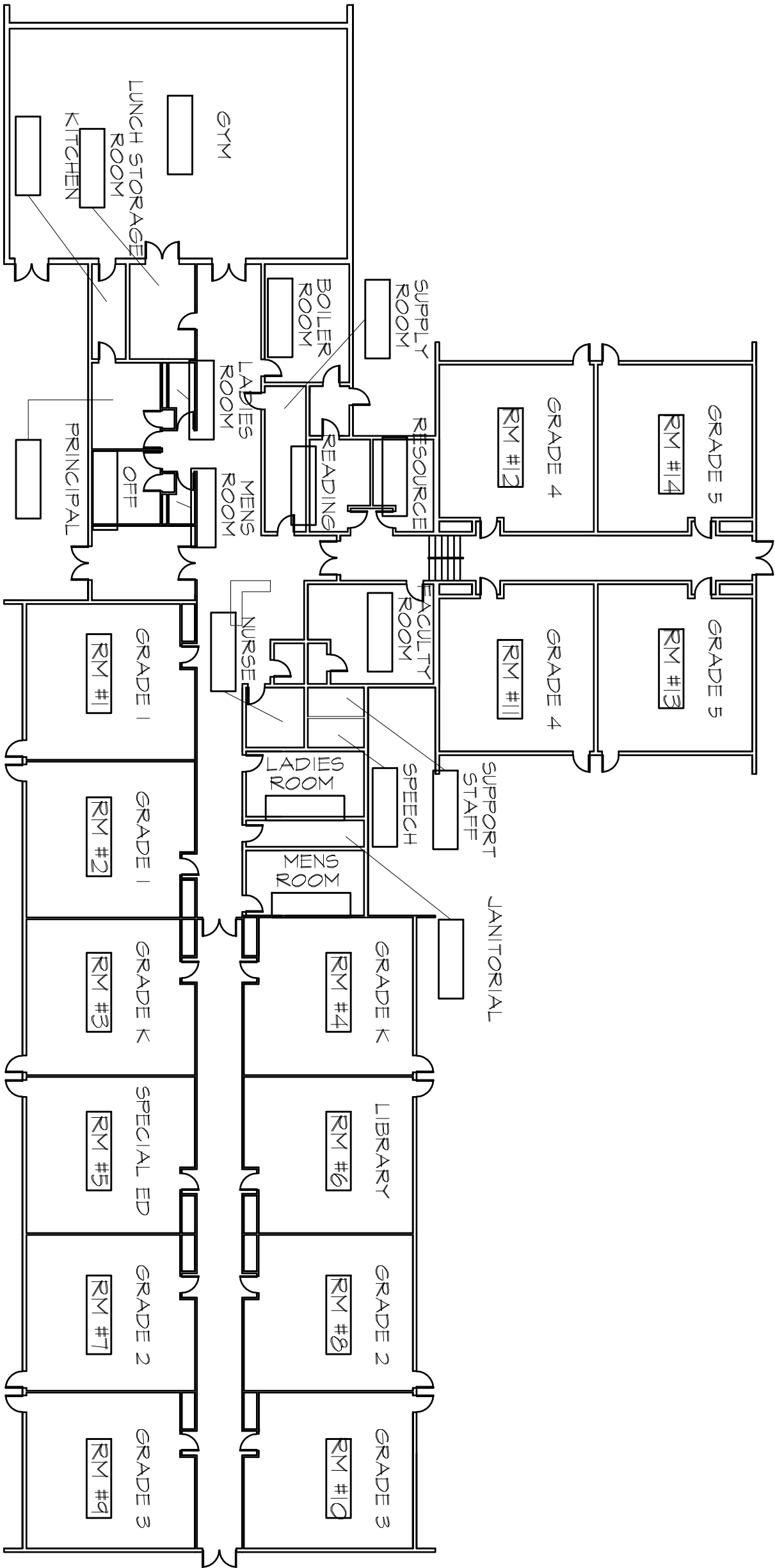
**WHELAN
ELEMENTARY
SCHOOL**

1440 MINERAL SPRING AVE.
NORTH PROVIDENCE RI 02884

DATE	REV.	DESCRIPTION
REVISIONS		

DATE	06 JANUARY 2014
DRAWN	N.T.
CHECKED	AS NOTED
DESIGNED BY	L.T.

A-1.01



1 FLOOR PLAN
Scale: 1/8" = 1'-0"

1440 MINERAL SPRING AVE.
NORTH PROVIDENCE RI 02884

1

Dr. Joseph A. Whelan Elementary School



WHELAN



STAIRS



ROOF



ROOF (13)



ROOF (12)



ROOF (11)



ROOF (10)



ROOF (9)



ROOF (8)



ROOF (7)



ROOF (6)



ROOF (5)



ROOF (4)



ROOF (3)



ROOF (2)



RESTROOM



RESTROOM (2)



PLAY FIELD



PLAY FIELD (2)



PAVING



PAVING (3)



PAVING (2)



OPEN CUBBIES



NURSE



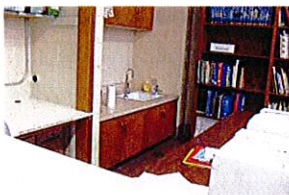
NURSE RESTROOM



NURSE (4)



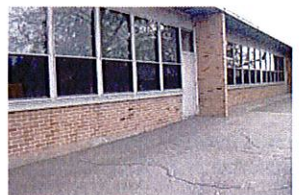
NURSE (3)



NURSE (2)



KITCHEN



IMG_5758



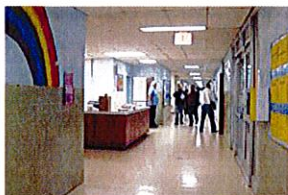
GIRLS



GIRLS (2)



ENTRANCE



CORRIDOR



BOYS

Dr. Joseph A. Whelan Elementary School



BOYS (3)



BOYS (2)



ALCOVE

ARCHITECTURAL FEASIBILITY STUDY

DR. JOSEPH A. WHELAN SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
- 3 - ACTION REQUIRED 4-5 YEARS
- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

GENERAL INFORMATION

NAME OF SCHOOL: DR. JOSEPH A. WHELAN SCHOOL

PRINCIPAL: KIM GRANATO

ADDRESS: 1440 MINERAL SPRING AVENUE, NORTH PROVIDENCE, RI 02904

OWNER: NORTH PROVIDENCE SCHOOL DEPARTMENT

GRADE LEVELS: K THROUGH 5

STUDENT POPULATION: 257

STUDENT CAPACITY: 257

YEAR CONSTRUCTED: 1959

ADDITIONS: N/A

CONSTRUCTION DATA:

STATE BUILDING CODE / CONSTRUCTION TYPE	
ORIGINAL BUILDING:	IIB CMU BRICK STEEL FRAME
FIRST ADDITION:	N/A
SECOND ADDITION:	N/A
OCCUPANCY GROUP:	E
SUB - BASEMENT:	N/A
BASEMENT:	N/A
GRADE LEVEL:	N/A
SECOND FLOOR:	N/A
THIRD FLOOR:	N/A

NUMBER OF STORIES	
ORIGINAL BUILDING:	1
FIRST ADDITION:	NA
SECOND ADDITION:	N/A

ARCHITECTURAL FEASIBILITY STUDY

DR. JOSEPH A. WHELAN SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
- 3 - ACTION REQUIRED 4-5 YEARS
- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

INTERIOR FINISHES

	FLOOR FINISH	CONDITIONS	WALL FINISH	CONDITIONS	CEILING FINISH	CONDITIONS
TYPICAL CLASSROOMS	VCT/ACT	2	CMU	3	SAT	3
GYM	VCT	3	CMU	3	OPEN	3
GYM LOCKER ROOMS	N/A					
LOCKER ROOMS	N/A					
AUDITORIUM	N/A					
CAFETERIA	SAME AS GYM					
LIBRARY	VCT/ACT	3	CMU	3	SAT	3
OFFICES	VCT/ACT	3	CMU	3	SAT	3
TEACHER LOUNGE	VCT/ACT	3	CMU	3	SAT	
TOILETS	CT	4	FIBER GLASS	4	GYP	3
CORRIDORS	VCT/ACT	3	CMU GLAZE	4	SAT	3
LOBBIES	VCT/ACT	3	CMU GLAZE	4	SAT	
VESTIBULE	VCT/ACT	3	CMU GLAZE	4	SAT	
STAIRS	VCT/ACT	3	CMU GLAZE	4	SAT	
KITCHEN	VCT	3	CMU	3	SAT	3
MECHANICAL/SERVICE	CONC	3	CMU	3	-	

INTERIOR ELEMENTS

	MATERIAL	CONDITIONS	REMARKS
INTERIOR DOORS	WD/MTL	3	
HARDWARE	1/2 NEW	3	NEW IN GOOD CONDITION
LOCKERS	N/A		
CUBBIES	WD	2	OPEN
COUNTER/CABINETS	PL	2	
TEACHERS WARDROBE	WD/PL	2	

ABBREVIATIONS

SAT	SUSPENDED ACOUSTICAL TILE	CONC	CONCRETE
VCT	VINYL COMPOSITE TILE	CMU	CONCRETE MASONRY UNIT
ACT	ASBESTOS COMPOSITE TILE	GYP BD	GYPSUM BOARD
CT	CERAMIC TILE	PTD	PAINTED
PL	PLASTIC LAMINATE	BIT	BITUMINOUS PAVING
WD	WOOD	ALUM	ALUMINUM
MTL	METAL	N/A	NOT APPLICABLE
		RT	RUBBER TILE

ARCHITECTURAL FEASIBILITY STUDY

DR. JOSEPH A. WHELAN SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
- 3 - ACTION REQUIRED 4-5 YEARS
- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

PROVISIONS FOR ACCESSIBILITY

EXTERIOR ACCESSIBLE ROUTE	
ACCESSIBLE ROUTE:	NEED STREET SIGN

	COMPLIANCE	REMARKS
PRIMARY ENTRANCE:	YES	
EXTERIOR/ EGRESS DOORS:	YES	
SIGNAGE:	NO	

INTERIOR ACCESSIBLE ROUTE	COMPLIANCE	REMARKS
ACCESSIBLE ROUTE:	NO	STAIRS IN CORRIDOR
ENTRANCE VESTIBULES:	YES	
SIGNAGE:	NO	
OFFICES:		
LIBRARY:		
AUDITORIUM	N/A	
CAFETERIA:	YES	
CROSS- CORRIDOR:	NO	
STAIRS:	NO	
HARDWARE:	1/2	
ADMINISTRATION:	NO	NO ADA COUNTER
GYMNASIUM:	YES	
LOCKER ROOM:	N/A	
CLASSROOM DOORS:	NO	SEE NOTE
DRINKING FOUNTAINS	NO	
CLASSROOM SINKS:	NO	

CONDITIONS				
VERTICAL ACCESS:	NO			
(ELEVATORS / LIFTS)				

	FLOOR SURFACE	HANDRAIL / GUARD HEIGHTS	CONDITIONS
STAIRWAYS:	NO		
RAMPS:			

ARCHITECTURAL FEASIBILITY STUDY

DR. JOSEPH A. WHELAN SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
- 3 - ACTION REQUIRED 4-5 YEARS
- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

PROVISIONS FOR ACCESSIBILITY CONT.**CLINIC:**

REQUIRED CLINIC AREAS/ ASSEMBLIES	COMPLIANCE	CONDITIONS	REMARKS
WAITING AREA:	NO	2	
PRIVATE MEETING AREA:	NO	2	
EXAMINATION AREA:	NO	2	
REST ROOM:	NO	2	

KITCHEN:

REQUIRED KITCHEN AREAS/ ASSEMBLIES	COMPLIANCE	CONDITIONS	REMARKS
WASHABLE SURFACES:	YES	2	
HAND SINK:	NO	2	
REST ROOM:	NO	2	

CLASSROOM EGRESS:

	COMPLIANCE	CONDITIONS	REMARKS
EMERGENCY RESCUE WINDOW:	NO		
DOORS BETWEEN CLASSROOMS:	NO		EXTERIOR DOOR

ARCHITECTURAL FEASIBILITY STUDY

DR. JOSEPH A. WHELAN SCHOOL

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SITE DATA:

	DESCRIPTION
LOT AREA:	
LAND USED:	ONE WAY PARENT DROP OFF - VERY BAD

	MATERIALS	CONDITIONS	REMARKS
PARKING LOT:	BIT	3	
SIGNAGE:	NO		NEED STREET SIGN
BUS DROP OFF:	-		STREET
BUS PICK UP:	-		STREET
PARENT DROP:	-		ON STREETS
PARENT PICK UP:	-		ON STREETS
LOADING/SERVICE AREA:	BIT	3	
TRASH AREA:	BIT	3	

SITE ACCESSIBILITY DATA:

	COMPLIANCE	REMARKS
PARKING:	YES	
CURB CUTS:	YES	
RAMPS:	-	
WALKWAYS:	YES	

ARCHITECTURAL FEASIBILITY STUDY

DR. JOSEPH A. WHELAN SCHOOL

CONDITIONS, KEY CRITERIA:

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BUILDING SYSTEMS AND ASSEMBLIES OF ORIGINAL BUILDINGS CON'**EXTERIOR**

EXTERIOR ENVELOPE	MATERIAL	CONDITIONS	REMARKS
WALL ASSEMBLY:	BRICK	3	SEE STRUCTURAL REPORT
ORIGINAL BUILDING:	N/A		
ADDITION:	N/A		
ROOF ASSEMBLY:		1	SEE NOTE
ORIGINAL BUILDING:	N/A		
ADDITION:	N/A		
WINDOWS:	ALUM	3	DO NOT MEET PULL FORCE
ORIGINAL BUILDING:	N/A		
ADDITION:	N/A		
EXTERIOR DOORS:	ALUM/MTL	3	
ORIGINAL BUILDING:			
ADDITION:			

ARCHITECTURAL FEASIBILITY STUDY

DR. JOSEPH A. WHELAN SCHOOL

CONDITIONS, KEY CRITERIA:

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SECURITY

	PROVIDED	NOT PROVIDED	REMARKS
SCHOOL SIGN:		X	
MAIN ENTRANCE IDENTIFICATION:		X	
EXTERIOR DOOR IDENTIFICATION:		X	
PASSIVE SECURITY:		X	
ACTIVE SECURITY:	X		
EXTERIOR CAMERAS:		X	
INTERIOR CAMERAS:		X	
DOOR FOB:	X		MUST GO TROUGH BOILER ROOM
SENSORS:	X		
CLASS ROOM LOCKDOWN:	X		
CLASS ROOM CONNECTING DOOR:		X	

ARCHITECTURAL FEASIBILITY STUDY

DR. JOSEPH A. WHELAN SCHOOL

**ACCESSIBLE
RESTROOMS**

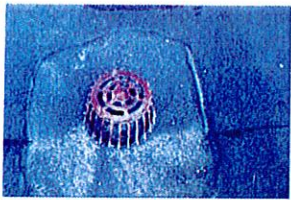
	COMPLIANCE	CONDITIONS	REMARKS
MEN 1			
TOILET	NO	2	
SINK	NO	2	
ACCESSORIES	NO	2	
GRAB BARS	NO	2	
TURNING RADIUS	NO	2	
WOMEN 2			
TOILET	NO	2	
SINK	NO	2	
ACCESSORIES	NO	2	
GRAB BARS	NO	2	
TURNING RADIUS	NO	2	
NURSES 3			
TOILET	NO	2	
SINK	NO	2	
ACCESSORIES	NO	2	
GRAB BARS	NO	2	
TURNING RADIUS	NO	2	
BOYS 4			
TOILET	YES	3	
SINK	YES	3	
ACCESSORIES	YES	3	
GRAB BARS	YES	3	
TURNING RADIUS	-		ALCOVE ENTRANCE NOT ADA
GIRLS 5			
TOILET	YES		
SINK	YES		
ACCESSORIES	YES		
GRAB BARS	YES		
TURNING RADIUS	YES		ALCOVE ENTRANCE NOT ADA

DR. JOSEPH A. WHELAN SCHOOL

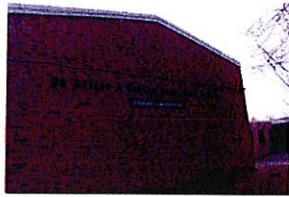
NOTES:

- CLASSROOM 1,2,3,4,5,6,7,8,9,10,11,12,13 AND 14 DO NOT HAVE ADA DOOR PULL CLEARANCE.
- THERE IS NO PLAYGROUND.
- THERE IS NO MUSIC ROOM.
- THERE IS NO ART ROOM.
- THERE IS NO LIBRARY.
- NO ENOUGH STORAGE.
- NO CONFERENCE ROOM AT THE SCHOOL.
- LIBRARY WAS A CLASSROOM.
- SPECIAL EDUCATION – NO TIME OUT AREA.
- THE SARNAFIL ROOF IS PAST ITS USEFUL PERFORMANCE LIFE.
- THERE IS ROOF PONDING, SEAMS HAVE FAILED.
- THERE IS EVIDENCE OF SATURATED INSULATION AND FAILED FLASHING, NON FUNCTIONING ROOF DRAINS.
- FIRE CODE: SEE ATTACHMENT FOR FIRE CODE VIOLATIONS OF EXISTING, EGRESS LIGHTING, DOOR HARDWARE, FIRE ALARM, SPRINKLER SYSTEM, SMOKE DETECTOR, WINDOW SHADES AND DOOR PLEXIGLASS.
- WINDOWS FOR RESCUE ASSISTANCE ARE NOT PROVIDED.
- ADD RATED CEILING AT STORAGE ROOMS.

Dr. Joseph A. Whelan Elementary School - MEP



GEDC0070



GEDC0027



GEDC0028



GEDC0029



GEDC0030



GEDC0031



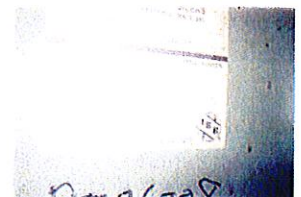
GEDC0032



GEDC0033



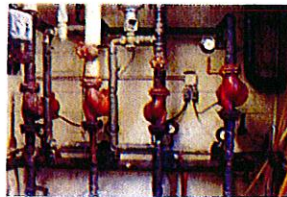
GEDC0034



GEDC0035



GEDC0036



GEDC0037



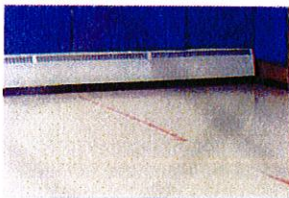
GEDC0038



GEDC0039



GEDC0040



GEDC0041



GEDC0042



GEDC0043



GEDC0044



GEDC0045



GEDC0046



GEDC0047



GEDC0048



GEDC0049



GEDC0050



GEDC0051



GEDC0052



GEDC0053



GEDC0054



GEDC0055



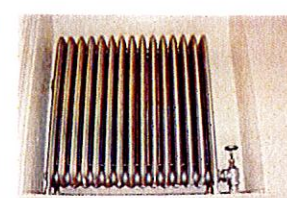
GEDC0056



GEDC0057



GEDC0058



GEDC0059



GEDC0060

Dr. Joseph A. Whelan Elementary School - MEP



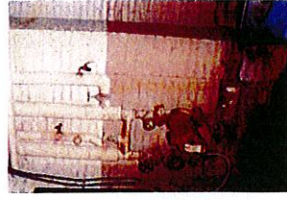
GEDC0061



GEDC0062



GEDC0063



GEDC0064



GEDC0065



GEDC0066



GEDC0067



GEDC0068



GEDC0069

ARCHITECTURAL FEASIBILITY STUDY

DR. JOSEPH A. WHELAN SCHOOL

CONDITIONS, KEY CRITERIA:

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- 5- MONITOR FOR FUTURE MAINTENANCE

ELECTRICAL

THE POWER, SIGNAL, LIGHTING, FIRE ALARM AND LIFE SAFETY SYSTEMS AND DEVICES IN THIS SCHOOL
APPEAR TO HAVE REACHED THEIR USEFUL LIFE.

OBSERVATIONS:

A NEW ADDRESSABLE FIRE ALARM SYSTEM IS SCHEDULED TO BE INSTALLED
IN THE NEAR FUTURE.

RECOMMENDATIONS:

ANY IMPROVMENTS TO THIS SCHOOL WILL REQUIRE COMPLETE SYSTEM UPGRADES.

	RATING	VOLTAGE	METERING	DATE OF INSTALLATION	CONDITIONS
SERVICE:	400A	120/240	1 PH, 3W	1960	FAIR

	TYPE	LOCATION	CONDITIONS
TRANSFORMER:	50KVA	120/240	POLE MTD 1960 FAIR

	RATING	ENERGY SOURCE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
EMERGENCY GENERATOR:	NONE				

	TYPE	DATE OF INSTALLATION	CONDITIONS
DISTRIBUTION SYSTEM:	CONDUCTORS IN CONDUIT	1960	FAIR

	GROUNDING / NON GROUNDING	DATE OF INSTALLATION	CONDITIONS
DEVICES:			
TYPICAL CLASSROOMS:	X	1960	FAIR
OFFICES:	X	1960	FAIR
GYM / CAFETERIA:	X	1960	FAIR
LOBBY / CORRIDOR:	X	1960	FAIR
TOILETS:	X	1960	FAIR

ARCHITECTURAL FEASIBILITY STUDY

DR. JOSEPH A. WHELAN SCHOOL

CONDITIONS, KEY CRITERIA:

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ELECTRICAL CONT.

LIGHTING	LAMP TYPE	MOUNTING	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	FLUORESCENT	SURFACE	10+ YEARS	FAIR
OFFICES:	FLUORESCENT	SURFACE	10+ YEARS	FAIR
LIBRARY:	FLUORESCENT	SURFACE	10+ YEARS	FAIR
GYM / CAFETERIA:	TSHD	SUSPENDED	2005	GOOD
LOBBY / CORRIDOR:	FLUORESCENT	RECESSED	10+ YEARS	FAIR
TOILETS:	FLUORESCENT	SURFACE	10+ YEARS	FAIR
LIGHTING CONTROLS:	SWITCHING		10+ YEARS	FAIR
THEATER LIGHTING SYSTEM::	N/A			

SITE LIGHTING:	LAMP TYPE:	MOUNTING	DATE OF INSTALLATION	CONDITIONS
SPORTS FIELDS:	N/A			
PARKING:	METAL HALIDE	BUILDING MTD	1960	POOR
WALKWAYS:	METAL HALIDE	BUILDING MTD	1960	POOR
BUILDING ENTRANCES:	METAL HALIDE	BUILDING MTD	1960	POOR

SECURITY SYSTEM:	TYPE:	MANUFACTURER:	DATE OF INSTALLATION	CONDITIONS
CCTV:	N/A			
DOOR ACCESS CONTROLS:	KEY FOB	KEYSCAN	1960	FAIR
DETECTION DEVICES:	MOTION	KEYSCAN	1960	FAIR

COMMUNICATIONS SYSTEM:	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
MASTER CLOCK / PROGRAM:	YES	SIMPLEX	1960	POOR
TYPICAL CLASSROOMS:	P/A	UNKNOWN	1960	POOR
OFFICES:	P/A	UNKNOWN	1960	POOR
PUBLIC AREAS:	P/A	UNKNOWN	1960	POOR

ARCHITECTURAL FEASIBILITY STUDY

DR. JOSEPH A. WHELAN SCHOOL

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TELE/ DATA VIDEO SYSTEM	TYPE	MANUFACTURER	CCTV	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	HARDWIRE & WIFI	UNKOWN	NO	1960	FAIR
OFFICES:	HARWIRE	UNKOWN	NO	1960	FAIR
LIBRARY:	HARDWIRE & WIFI	UNKOWN	NO	1960	FAIR
GYM/ CAFETERIA:	NONE				

LOCAL SOUND SYSTEMS	TYPE	MANUFACTURER	CONTROLS	DATE OF INSTALLATION	CONDITIONS
GYM/ CAFETERIA	PA SYSTEM	SIMPLEX		1960	POOR
					FAIR

	TYPE:	MANUFACTURER:	CONTROLS	DATE OF INSTALLATION	CONDITIONS
EMERGENCY LIGHTING:	LIGHTED	UNKOWN	BATTERY B/U	1960	POOR
EXIT LIGHTING:	NONE				

EMERGENCY LIGHTING HAS A CENTRALLY LOCATED BATTERY UNIT AND REMOTE HEADS.

	TYPE:	MANUFACTURER:	NOTIFICATIONS	DATE OF INSTALLATION	CONDITIONS
FIRE ALARM SYSTEM:	ADDRESSABLE	FIRELITE	AUDIO/VISUAL	1996	VERY GOOD
		MS 9200UDLS			

FIRE ALARM DEVICES	DETECTOR TYPE	ALARM SYGNAL TYPE	PULL STATION	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	HEAT DETECTION	NONE		1961	POOR
OFFICES:	HEAT DETECTION	NONE		1961	POOR
LIBRARY:	HEAT DETECTION	NONE		1961	POOR
AUDITORIUM / STAGE:	N/A			1961	POOR
GYM/ CAFETERIA:	HEAT DETECTION	NONE	YES	1961	POOR
LOBBY / CORRIDOR:	SMOKE	AUDIO/VISUAL	YES	1961	POOR
KITCHEN:	N/A				
STORAGE / SERVICE:	HEAT DETECTION	NONE		1961	POOR
TOILETS:	HEAT DETECTION	NONE		1961	POOR

NOTES:

CLASSROOMS DO NOT HAVE FIRE ALARM STROBE DEVICES OR EMERGENCY LIGHTING.

ARCHITECTURAL FEASIBILITY STUDY

DR. JOSEPH A. WHELAN SCHOOL

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HEATING & VENTILATION - WHELAN ELEMENTARY

CENTRALIZED SYSTEMS	ENERGY SOURCE	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
HEATING EQUIPMENT #1:	NAT GAS	BOILER - HW	WEIL McLAIN	1993	4 GOOD
HEATING EQUIPMENT #2:	NAT GAS	BOILER - STEAM	BRYANT	1970?	2 POOR
COOLING EQUIPMENT #1:	N/A	-	-	-	
EXHAUST EQUIPMENT #1:	ELECT.	ROOF FAN	-	ORIGINAL	2 POOR

DISTRUBUTION SYSTEMS	SIZE	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
HEATING DISTRUBUTION EQUIPMENT:	PUMPS (2) - 3/4HP	INLINE	TACO	1970s	2 POOR
COOLING DISTRUBUTION EQUIPMENT:	N/A	-	-	-	
AIR DISTRIBUTION EQUIPMENT	N/A	-	-	-	

TERMINAL EQUIPMENT	TYPE	MANUFACTURER	CONTROLS	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS (1930):	STEAM RAD.	-	NONE	ORIGINAL	3 FAIR
TYPICAL CLASSROOMS (1960):	HW BB	-	ELECTRONIC	ORIGINAL	3 FAIR
OFFICES:	BB	-	ELECTRONIC	ORIGINAL	3 FAIR
LIBRARY:	UV & EF	-	ELECTRONIC	ORIGINAL	2 POOR
CAF/GYMNASIUM:	AHU	-	ELECTRONIC	ORIGINAL	3 FAIR

NOTES:

- 1) THERE ARE TWO BOILERS, ONE STEAM FOR THE OLDER BUILDING AND ONE HW FOR THE NEWER BUILDING. BOILERS WERE CONVERTED FROM OIL TO DUAL FUEL IN 2011. HW BOILER IS WEIL McLAIN 988 (2176MBH OUT) STEAM BOILER IS 678 (643MBH OUT).
- 2) THERE ARE TWO 225 GALLON INTERIOR OIL TANKS FOR THE STEAM BOILER.
- 3) NO CENTRAL COOLING. WINDOW A/C IN SELECT AREAS.
- 3) CLASSROOMS HAVE BASEBOARD HEAT IN CABINETRY OR RADIATORS. NO VENTILATION OR EXHAUST.
- 4) BB AND CONVECTORS IN HALLWAYS, OFFICES, BATHROOMS, ETC.
- 5) GYM HAS A HOT WATER AIR HANDLING UNIT AND DEDICATED EXHAUST FANS.
- 6) STEAM SYSTEM IS SINGLE PIPE LOW PRESSURE STEAM. NO CONDENSATE PUMP OR PIPING.
- 7) OLD SCHOOL CUT IN HALF.

ARCHITECTURAL FEASIBILITY STUDY

DR. JOSEPH A. WHELAN SCHOOL

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PLUMBING SYSTEM

SERVICE	PIPE SIZE	METER SIZE	PRESSURE REGULATOR	OPER PRESSURE	PIPE MATERIAL	SOURCE	AGE	MISCELLANEOUS
WATER:	4"	N/A	N/A	CITY	COPPER	MUNICIPAL	1960	NO METER/BFP
GAS:	2"	2"	Y	7" W.C.	STEEL	UTILITY	2007	3000 CFH

SYSTEM	PIPE MATERIAL/CONDITION	TYPE INSULATION/ CONDITION	MISCELLANEOUS
DOMESTIC COLD WATER:	COPPER/FAIR	FIBERGLASS	INFRASTRUCTURE IS ORIGINAL
DOMESTIC HOT WATER:	COPPER/FAIR	FIBERGLASS	INFRASTRUCTURE IS ORIGINAL
SANITARY WASTE & VENT:	CAST IRON/FAIR		INFRASTRUCTURE IS ORIGINAL
STORM DRAINAGE:	CAST IRON/FAIR		INFRASTRUCTURE IS ORIGINAL
GAS:	STEEL/GOOD		
NON-POTABLE (LAB) CW:			
NON-POTABLE (LAB) HW:			
ACID (LAB) WASTE & VENT:			
KITCHEN WASTE:			
TEMPERED WATER:			

EQUIPMENT	TYPE/FUEL	AGE	CONDITION	MISCELLANEOUS
DOMESTIC WATER HEATER:	ATMOSPHERIC/GAS	2006	5	A.O.SMITH GCVL 40 300
SANITARY EJECTOR PUMP:				
STORM EJECTOR PUMP:				
DOMESTIC WATER BOOSTER PUMP:				
INTERIOR KITCHEN GREASE TOP:				

ARCHITECTURAL FEASIBILITY STUDY

DR. JOSEPH A. WHELAN SCHOOL

CONDITIONS, KEY CRITERIA:

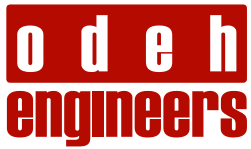
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PLUMBING SYSTEM CONT.

PLUMBING FIXTURES	TYPE/ INSTALLATION	LOW CONSUMPTION/ METERING	ACCESSIBLE	CONDITION	MISCELLANEOUS
WATER CLOSET:	FLUSH VALVE	NO		3	POOR CONDITION
URINAL:	FLUSH VALVE	NO		3	POOR CONDITION
LAVATORY:	WALL HUNG	NO		2	POOR CONDITION
DRINKING FOUNTAIN/WATER COOLER:	WALL HUNG	NO		4	NEW
CLASSROOM SINK:	SELF RIMMING	NO		3	
CLASSROOM BUBBLER / DRINKING FOUNTAIN:					
MOP SINK:	JANITOR SINK			2	
SHOWERS:					

MISCELLANEOUS FIXTURES	MISCELLANEOUS
HOSE BIBB:	
WALL HYDRANT:	2
FLOOR DRAIN:	
EMERGENCY SHOWER / EYEWASH:	
EMERGENCY EYEWASH:	
LAB FAUCETS:	
LAB GAS COCKS:	

NOTES: IN GENERAL THE PLUMBING FIXTURES ARE IN FAIR TO POOR CONDITION AND IN NEED OF REPLACEMENT. THE WASTE AND WATER PIPING INFRASTRUCTURE IS ORIGINAL TO THE BUILDING. WE WOULD EXPECT CONTINUED MAINTENANCE/REPAIR AS THE SYSTEMS CONTINUE TO AGE. THE WATER HEATER IS RELATIVELY NEW AND APPEAR IN GOOD WORKING CONDITION.



1223 Mineral Spring Avenue
North Providence, Rhode Island 02904

January 2, 2014

Mr. Luis Torrado
L.A. Torrado Architects
35 Greenwich Street
Providence, Rhode Island 02907

RE: Dr. Joseph A. Whelan Elementary School Facilities Assessment - Structural

Transmitted via email (la.torrado@verizon.net)

Dear Luis:

Per your request, this office has conducted an inspection and assessment of the structural elements of the Dr. Joseph A. Whelan Elementary School buildings. The following is a summary of the investigation and recommendations.

Standard of Care and Use of Report

Please note that the results of this investigation are limited to visual observations of the accessible areas of the building only. While we have made our best efforts to investigate the building structure, many conditions were concealed by architectural finishes or were otherwise inaccessible, and therefore additional damage or other unforeseen conditions not included in this report may be present. The findings of this report therefore represent our best professional opinion based on the information available to us at this time. This report is for use by L.A. Torrado Architects and the North Providence School Department to assess the existing structural condition of the Dr. Joseph A. Whelan Elementary School buildings.

Actions Taken

Odeh Engineers, Inc. undertook the following actions to complete this structural assessment:

- On Wednesday, December 4, 2013, Odeh Engineers' Field Engineer, Paul Wilkinson, inspected and assessed the Dr. Joseph A. Whelan Elementary School buildings. Where encountered, the Field Engineer documented and photographed existing deficiencies in the structural elements of the building, or potential problem areas that could lead to structural deficiencies.
- Subsequent to the site visit, the Field Engineer reviewed his observations, findings and photographs with Principal Engineer, M. David Odeh, P.E.
- Odeh Engineers has prepared this written summary of findings and recommendations.

Phone: 401.724.1771

Fax: 401.724.1981

Documents Reviewed

There were no structural drawings for the Dr. Joseph A. Whelan Elementary School buildings made available to Odeh Engineers at the time of authoring this structural assessment report.

Key Plan

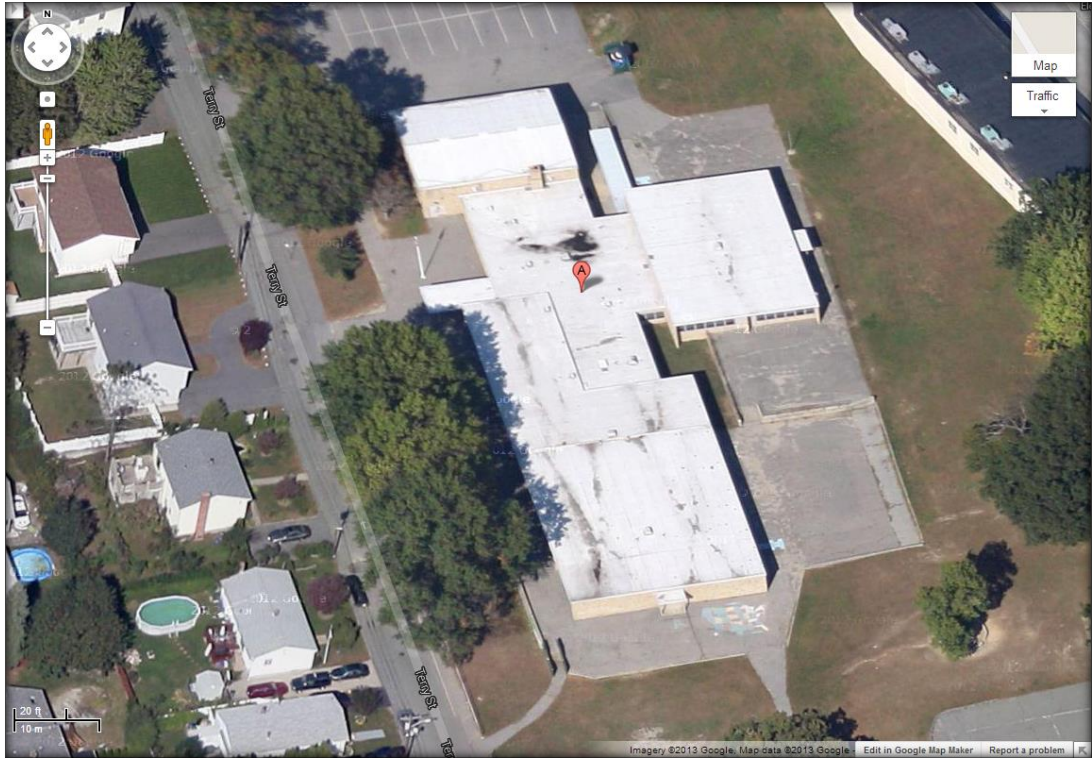


FIGURE 1 – *This photograph is an aerial image of the Dr. Joseph A. Whelan Elementary School buildings. Note that north is vertically up in this image.*

Summary of Existing Conditions

The Dr. Joseph A. Whelan Elementary School buildings appeared to be in good structural condition with the exception of the following structural deficiencies and/or potential problem areas:

1. There is widespread ponding of water on the flat roofs of the Dr. Joseph A. Whelan Elementary School buildings. (Please refer to the Photos #1 to #3 below.)
Comments and Recommendations: *Although there was no visual evidence of structural distress, ponding of water on the roof of a building can cause the roof structure to sag due to the weight of the water. As the roof sags, more water can become entrapped in the low spot of the roof, causing additional sagging. The roof structure should be adequately pitched, or tapered insulation below the roof membrane must be installed, to allow the water to flow to the roof drains.*



PHOTO #1 – *This photograph shows one of the areas where the water is ponding on the flat roofs of the Dr. Joseph A. Whelan Elementary School building.*




PHOTO #2 – *This photograph shows another of the locations where water is ponding on the roof of the school building.*




PHOTO #3 – *This photograph shows another location where water is ponding on the roof of the school building.*

We trust that this report meets your needs at this time. Should you wish to proceed with a more detailed study or design, Odeh Engineers would be pleased to provide these additional services for the project. In the meantime, please do not hesitate to contact this office if you have any questions or require additional information.

Sincerely,



M. David Odeh, P.E.
Principal



Paul Wilkinson
Field Engineer



North Providence Fire Department

1951 Mineral Spring Avenue North Providence, R.I. 02904

Phone: 231-8505 Ext. 304 Fax: 233-1460 E-Mail: firemarshal@northprovidenceri.gov

August 14, 2013

Melinda Smith, Superintendent of Schools
2240 Mineral Spring Avenue
North Providence, RI 02911

RE: Whelan Elementary School

Superintendent Smith,

The following is a list of violations which were discovered during our annual inspection of Whelan Elementary School, 1420 Mineral Spring Avenue.

1. Exit Signs are missing in the following locations;
 - a. In the common corridor near rooms 3 & 4 over the cross corridor doors.
2. The regular lighting over the egress doors are in need of repair or replacement.
3. There are covers missing on boxes throughout the entire school. These boxes mostly contain fire alarm wiring.
4. The following doors need repair;
 - a. The doors in room 4 & 6 leading directly to the exterior were blocked with sandbags.
 - b. The cross corridor doors are painted with the same mural type painting as the walls. Must be clearly identifiable as egress doors.
 - c. The cross corridor doors swing against the path of egress. The swing shall be changed so they swing with egress
5. A rated drop ceiling shall be added to the storage room. This will keep it from needing sprinklers.
6. The existing fire alarm system does not meet the code and shall be repaired/replaced as necessary
 - a. This is addressed in a previous plan of action and shall be corrected prior to September 2014
7. An exit inspection program as well as an emergency light/exit sign inspection program shall be implemented. A log book documenting these programs shall be provided.

I believe a lot of this can be addressed prior to the upcoming start of school. Whatever cannot be taken care of will be put into a violation letter with provisions to go to the RI Fire Code Board of Appeal and Review for time extensions.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "Lt. John P. Horan".
Lt. John P. Horan
Fire Marshal

“AHERA”
ASBESTOS
RE-INSPECTION & MANAGEMENT PLAN

JANUARY 2013

at the:

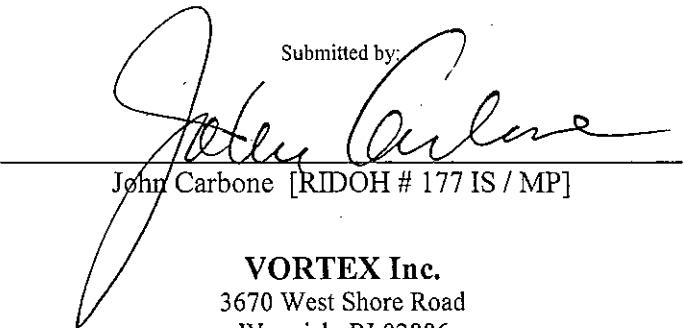
**WHELAN
ELEMENTARY SCHOOL**

1440 Mineral Spring Avenue
North Providence, RI 02904

For:

Armand Milazzo
Director of Non-Instructional Services
North Providence Public Schools

Submitted by:


John Carbone [RIDOH # 177 IS / MP]

VORTEX Inc.
3670 West Shore Road
Warwick, RI 02886

1-800-VORTEXX

☒ Main copy

☐ School copy

INTRODUCTION

Vortex, Inc. conducted a 3 year Re-inspection of friable and non-friable asbestos-containing building material(s) (ACBM) and "presumed" asbestos-containing building material(s) (PACM) at **Whelan Elementary School, North Providence, Rhode Island**. This Reinspection was performed in accordance with 40 CFR Part 763.85, AHERA FINAL RULE. This Reinspection was approved by the School's Local Education Agencies (LEA) (Armand Milazzo). This inspection was conducted on **January 31, 2013** by John Carbone from Vortex Inc. (RIDOH Asbestos Consultant Certificate #177 IS / MP).

The inspection was conducted in accordance with the AHERA Regulations. Original inspection reports as well as Re-inspection reports were utilized to ascertain the locations of the pre-assessed asbestos-containing building materials and all functional/accessible areas of the school building. These areas included; classrooms, utility closets, janitor's closets, above drop ceilings, and crawlspaces...etc. Building plans and reports were obtained through the school. The identified asbestos-containing building materials are denoted on the asbestos hazard inspection forms for further reference.

Assessment of the previously identified (original AHERA inspection and/or subsequent re-inspections) asbestos-containing materials consists of the information collected during the inspection portion of this project and the potential for the material to become damaged or significantly damaged. The assessment includes the following considerations; deteriorated condition, the friability of the material, vibration, water damage, air erosion, changes in the accessibility of the ACBM, new damage or increased damage to the ACBM, increase or decrease on the potential for significant damage or damage.

INSPECTION

The AHERA Re-inspection evaluation was conducted at **Whelan Elementary School** on **January 31, 2013**. At least once every 3 years after a management plan is in effect, each local education agency (LEA) shall have a Re-inspection evaluation performed by accredited and state certified individual(s). This Reinspection shall consist of all friable and nonfriable, known or assumed ACBM in each school building that they lease, own, or otherwise use as a school building. For each area of the school buildings, the inspector conducted the following assessment criteria:

- 1) Visually reinspect and reassess the condition of all known or assumed ACBM/PACM.
- 2) Visually inspected the material that was previously considered non-friable ACBM/PACM and touched the materials to determine whether it has become friable since the last Re-inspection.
- 3) Identified any homogenous areas with material that has become friable since the last Re-inspection.
- 4) For each homogenous area of newly friable material that is already assumed to be ACBM, bulk material samples were collected and submitted for asbestos analysis by a RI DOH certified laboratory.

5) Assessed the condition of the newly friable material in areas where samples were collected and newly friable materials that are assumed to be ACM. *Suspect ACM bulk material sampling/analysis was not performed as part of this re-inspection and shall remain assumed to contain asbestos.*

6) Reassessed the condition of the friable, known or assumed ACM previously identified.

7) Recorded the previous information for the submittal of this AHERA Re-inspection report and management plan.

Vortex, Inc. inspecting personnel utilized the original and the subsequent Re-inspection reports for this school building. This aided the inspection process and evaluation as to the location, amount, and former condition of the previously assessed asbestos-containing material(s) within the building. This management plan reports on all pre-assessed asbestos containing materials within the building whether there is a physical change or not. Refer to attached Chart of ACM and PACM for homogeneous areas.

ASSESSMENT

The previously identified asbestos-containing building material was identified within its current condition and assessed as to the potential for damage or significant damage. If previously assumed asbestos-contained material is observed to be friable and/or damaged, bulk material sample(s) shall be collected/analyzed for asbestos content. The previously identified asbestos-containing material were classified and categorized to determine the appropriate response actions. The identified, assumed, or suspect asbestos-containing building materials are homogenized under one (1) of the three (3) types of asbestos-containing building materials. They are either:

- 1) Thermal System Insulation
- 2) Surfacing Materials, and/or
- 3) Miscellaneous materials and insulation's

RECOMMENDED RESPONSE ACTIONS

Condition classifications of the asbestos containing building materials are utilized to help the inspector designate a response action in accordance with the AHERA Regulations per 40 CFR 763.88(b) to include:

- 1) *Damaged or significantly damaged thermal system insulation*
- 2) *Damaged friable surfacing ACM*
- 3) *Significantly damaged friable surfacing ACM*
- 4) *Damaged or significantly damaged friable miscellaneous ACM*
- 5) *ACBM with potential for damage.*
- 6) *ACBM with potential for significant damage*
- 7) *Any remaining friable ACM or friable suspect ACM*

RESPONSE ACTION KEYS USED WITHIN ATTACHED CHARTS

Key #	THERMAL INSULATION [T]
1	Isolate area and restrict access. Abate as soon as possible.
2	Continue O&M. Repair or remove as soon as possible, or reduce potential for disturbance.
3-5	Repair, Continue O&M. Number indicates priority if all cannot be done immediately.
6-7	Continue O&M. Take preventative measures to reduce disturbance. Number indicates priority for removal.
8	Continue O&M until major renovation or demolition requires removal under NESHAP's or until hazard factors change.

Key #	SURFACING MATERIALS [S]
1	Isolate area and restrict access. Abate as soon as possible.
2	Continue O&M. Repair or remove as soon as possible, or reduce potential for disturbance.
3	Continue O&M. Schedule removal when practical and cost-effective or reduce disturbance.
4-5	Continue O&M. Schedule removal when practical and cost effective. Number indicates priority for removal.
6-7	Continue O&M. Take preventative measures to reduce disturbance. Number indicates priority for removal.
8	Continue O&M until major renovation or demolition requires removal under NESHAP's or until hazard factors change.

Key #	MISCELLANEOUS MATERIALS [M]
1	Isolate area and restrict access. Abate as soon as possible.
2	Continue O&M. Repair or remove as soon as possible, or reduce potential for disturbance.
3	Continue O&M. Schedule removal when practical and cost-effective or reduce disturbance.
4-5	Continue O&M. Schedule removal when practical and cost effective. Number indicates priority for removal.
6-7	Continue O&M. Take preventative measures to reduce disturbance. Number indicates priority for removal.
8	Continue O&M until major renovation or demolition requires removal under NESHAP's or until hazard factors change.

TYPES OF ACM PRESENT

Refer to the original AHERA and subsequent/attached Re-Inspection Reports for PACM and ACBM locations.

In summary, Vortex Inc. conducted the required three (3) year AHERA Re-inspection at **Whelan Elementary School**. As a results of this Re-inspection, the following materials were observed and determined to be in need of repair and/or removal or changes since the most recent AHERA Re-inspection included:

REFER TO ATTACHED CHART OF ACM

PHYSICAL ASSESSMENT

THE REMAINING ACBM OR PACM WITHIN THIS SCHOOL BUILDING WAS INTACT AND IN GOOD CONDITION AT THE TIME OF THE RE-INSPECTION.

OUTSIDE CONTRACTORS

Prior to any outside contractor performing work that May disturb/impact the ACM or PACM building components (pipes, wall plasters, etc.) throughout this school building, they shall be informed (by the LEA) about the suspect material locations. The LEA shall collect/analyze (by a RIDOH licensed Asbestos Inspector) these materials to determine if they contain asbestos (>1%). All lab reports shall be inserted into the AHERA Management Planner book. If lab results confirm the material to contain asbestos, then a RI licensed contractor or competent person (<3') shall remove the ACM prior to repairs/renovation activities. In any event, the contractor shall complete the attached form OUTSIDE CONTRACTOR - ACKNOWLEDGEMENT STATEMENT FORM and it shall be inserted into the Management Planner.

STEPS TO INFORM BUILDING OCCUPANTS / GUARDIANS

Workers and building occupants, or their legal guardians shall be informed about Re-inspections, response actions, and post-response action activities, including periodic Re-inspection and surveillance activities that are planned or in progress through postings in the teachers lunch room and information sent home in the annual AHERA Notification letter sent out in early September of each year.

AHERA - ASBESTOS RE-INSPECTION OF ACM & PACM

Vortex Inc. Page 1 of 2

WHELAN ELEMENTARY SCHOOL

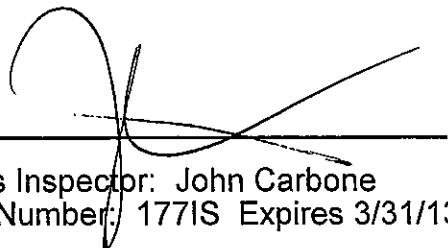
NORTH PROVIDENCE SCHOOL DEPARTMENT

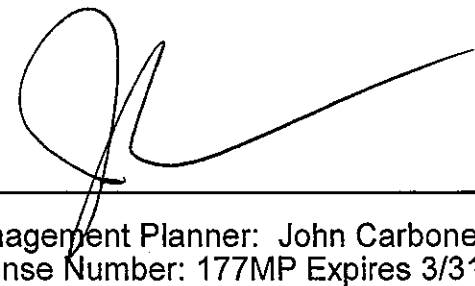
Reinspection Date: 1/31/13

		INSPECTION FINDINGS FOR ACM & PACM																Initials of Surveillance Inspector				
		Type and Quantity																				
		FLOOR COVERING (NF)						CEILING TYPE (F)					Response Action					6 MONTH SURVEILLANCES				
Location of ACBM	Floor	9" x 9" floor tile	12"x12" floor tile	Sheet material	concrete	ceramic	carpet	PLASTER	1' x 1'	2' x 4'	2' X 2'	Wall Material	FRIABLE	DAMAGED	ACCESS	POTENT. DAMAGE	RESPONSE	7/13	1/14	7/14	1/15	7/15
		MISC	MISC.	MISC.		MISC.		SURFACE	MISC	MISC.	MISC.	SURFACE										
MAIN HALL	1		2000							2000		BL	N	N	Y	X	M8					
FOYER	1		225							225		BL	N	N	Y	X	M8					
RM 10	1	850								850		BL	N	N	Y	X	M8					
RM 9	1	850								850		BL	N	N	Y	X	M8					
RM 8	1	850								850		BL	N	N	Y	X	M8					
RM 7	1	850								850		BL	N	N	Y	X	M8					
RM 6	1	850								850		BL	N	N	Y	X	M8					
RM 5	1	850								850		BL	N	N	Y	X	M8					
RM 4										850		BL	N	N	Y	X	M8					
RM 3										850		BL	N	N	Y	X	M8					
RM 2	1	850								850		BL	N	N	Y	X	M8					
JANITOR	1	30								30		BL	N	N	Y	X	M8					
RM 1		700					150			850		BL	N	N	Y	X	M8					
RESOURCE 4	1	60								60		BL	N	N	Y	X	M8					
PRINCIPAL	1	240								240		BL	N	N	Y	X	M8					
RESOURCE 1	1	400								400		BL/W	N	N	Y	X	M8					
SUPPLY	1	200								200		BL	N	N	Y	X	M8					
CHARTER 1	1	160								160		BL	N	N	Y	X	M8					
SPEECH	1	160								160		BL	N	N	Y	X	M8					
MENS	1	60								60		BL	N	N	Y	X	M8					
WOMENS	1	160								160		BL	N	N	Y	X	M8					
NURSE	1	160								160		BL	N	N	Y	X	M8					
FACULTY	1	180								180		BL	N	N	Y	X	M8					
KITCHEN	1	120								120		BL	N	N	Y	X	M8					
STORAGE	1	200								200		BL	N	N	Y	X	M8					
STORAGE 2	1	180								180		BL	N	N	Y	X	M8					

		INSPECTION FINDINGS FOR ACM & PACM																				
		Type and Quantity																6 MONTH SURVEILLANCES				
		FLOOR COVERING (NF)						CEILING TYPE (F)				Response Action					7/13	1/14	7/14	1/15	7/15	
		9" x 9" floor tile	NON ACM 12"x12" floor tile & mastic	Sheet material	concrete	ceramic	carpet	PLASTER	1' x 1'	2' x 4'	2' X 2'	Wall Material	FRIABLE	DAMAGED	ACCESS	POTENT. DAMAGE	RESPONSE					
GYM	1		2800							2800		BL	N	N	Y	X	M8					
HALL	2		500							500		BL	N	N	Y	X	M8					
RM 13	2		860							860		BL	N	N	Y	X	M8					
RM 14	2		960							560		BL	N	N	Y	X	M8					
RM 11	2		860							860		BL	N	N	Y	X	M8					
RM 12	2		860							860		BL	N	N	Y	X	M8					

Code: N = NO; Y = YES; T = THERMAL; S = SURFACING; M = MISCELLANEOUS
NC = NO CHANGE; R = REPAIRED; D = DAMAGED


Asbestos Inspector: John Carbone
License Number: 177IS Expires 3/31/13


Management Planner: John Carbone
License Number: 177MP Expires 3/31/13

I, the LEA's Designated Person, have read and understood the recommendations made above:  Date: 1/13/13

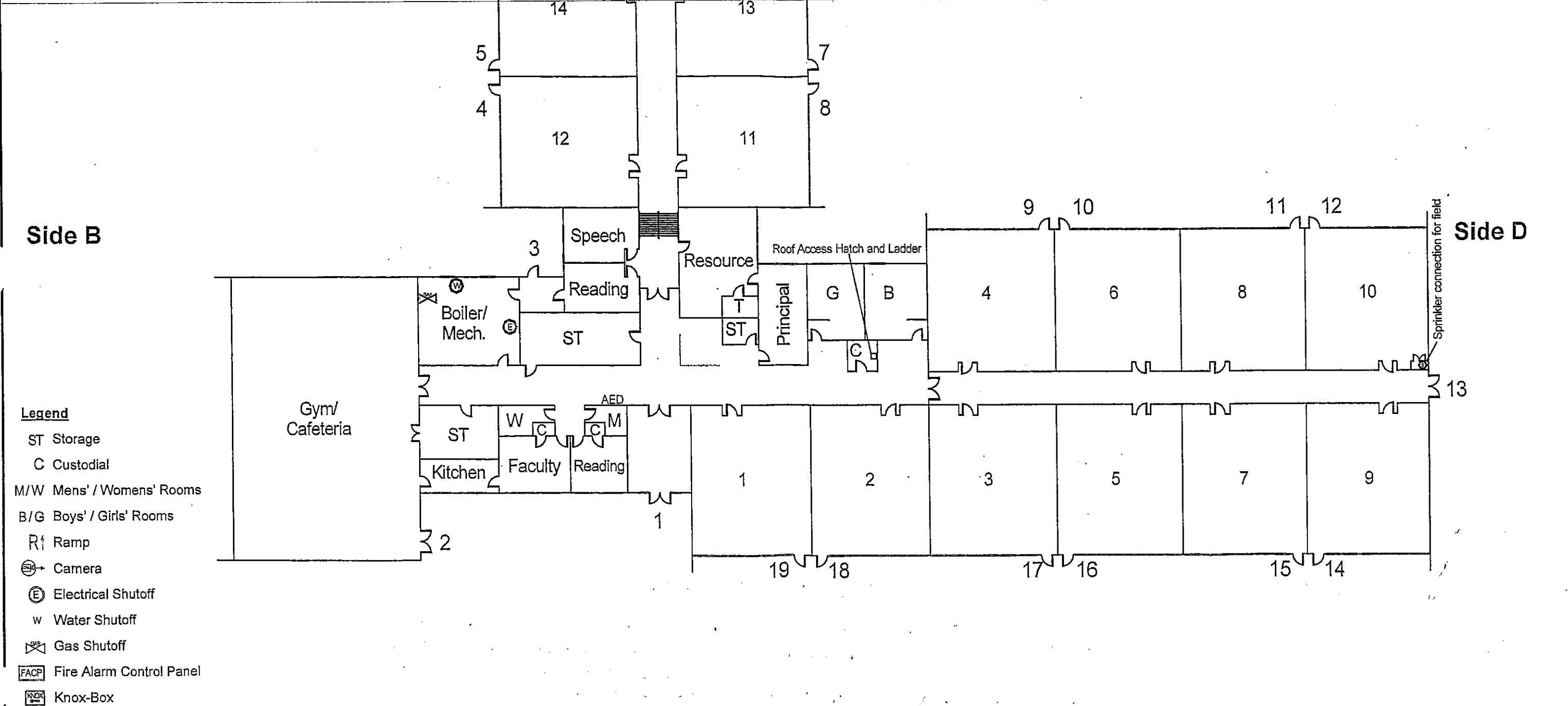
7/12 - GYM & ADJOINING KITCHEN, FACULTY ROOM/CLOSETS, OFFICES AND STORAGE AREAS – Abatement of asbestos containing 9" and 12" square *floor tile/mastic* [total of 3,300 s.f.) and applicable rubber covebase/mastic. The material is in fair/poor condition.

7/12 - CLASSROOMS #11 - #14 AND CORRIDOR – Abatement of asbestos containing 9" square *floor tile* [total of 4,000 s.f.) .

7/12 - MAIN VESTIBULE / ENTRANCE AREA – Abatement of asbestos containing 9" square *floor tile/mastic*

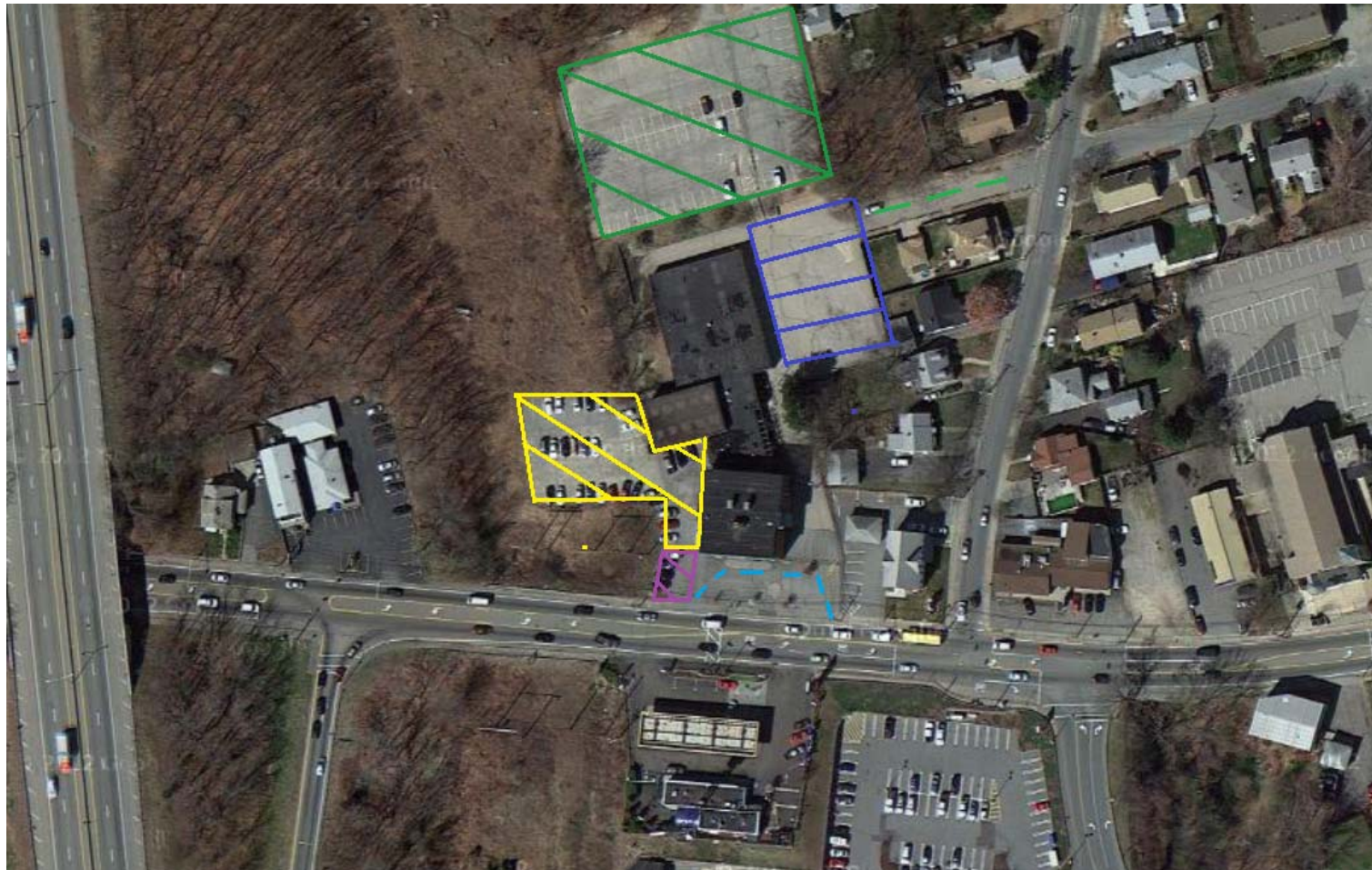
District:	North Providence Public Schools
Building Name:	Whelan Elementary School
Address:	1440 Mineral Spring Avenue North Providence, RI 02904

First Floor



MARIEVILLE ELEMENTARY SCHOOL

1135 MINERAL SPRING AVE, NORTH PROVIDENCE, RI 02904



- | | | | |
|---|---|---|---|
|  Play Fields |  Faculty Parking |  Parent Parking |  Visitor Parking |
|  Play Area |  Buses |  Parent drop off | |



TORRADO
ARCHITECTS

216 GREENWICH ST.
PROVIDENCE, RI 02907
401.781.1555 P
401.781.1555 F

KEY PLAN

RENOVATIONS TO:
**NORTH
PROVIDENCE
PUBLIC
SCHOOLS**

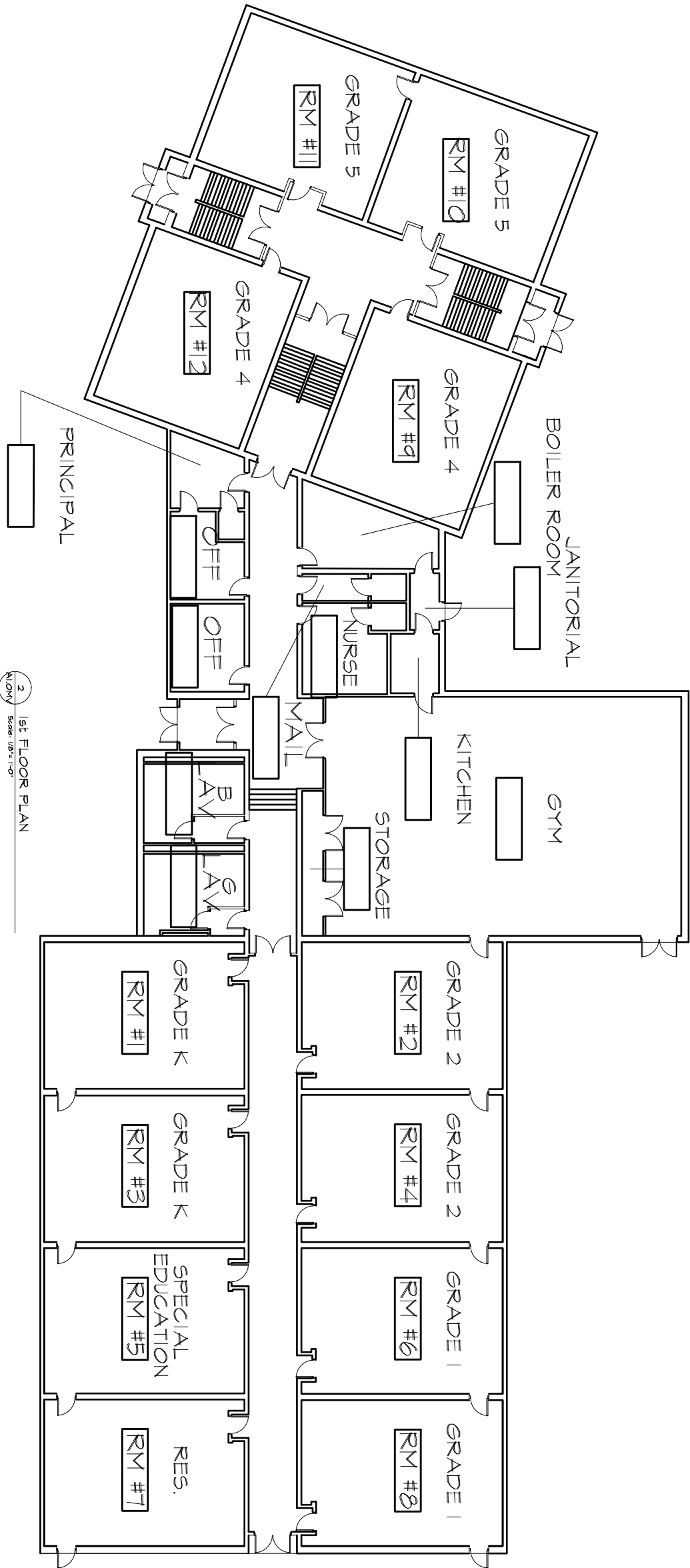
**FACILITY
ASSESSMENT
PROJECT 2013**

**MARIEVILLE
ELEMENTARY
SCHOOL**

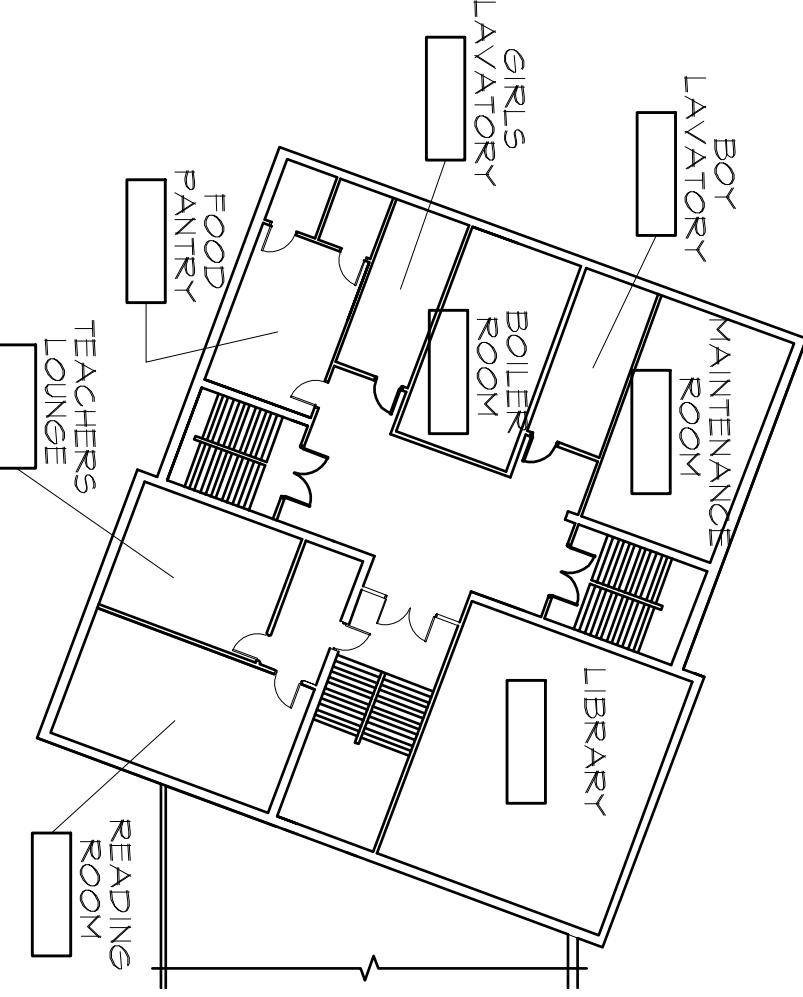
1125 MINERAL SPRING AVE.
NORTH PROVIDENCE RI 02864

DATE	REV.	DESCRIPTION
REVISIONS		
06 JANUARY 2014	01	AS NOTED
	02	L.T.

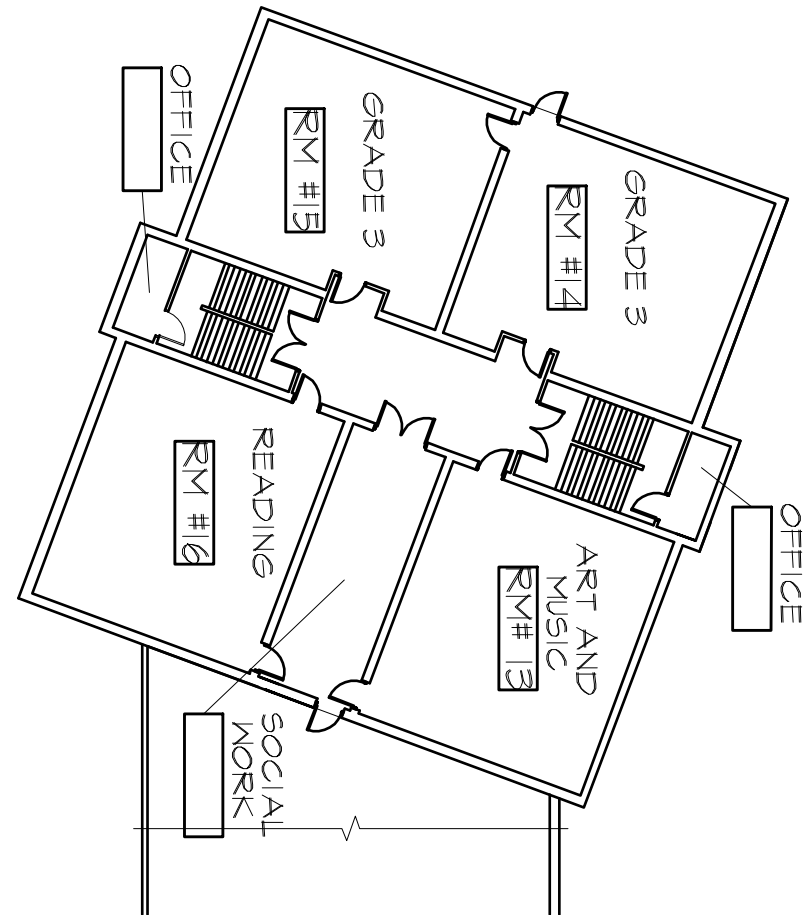
A-I.O.M.V.
ARCHITECTS
1125 MINERAL SPRING AVE.
NORTH PROVIDENCE RI 02864
401.781.1555 P
401.781.1555 F



2 1st FLOOR PLAN
Scale: 1/8" = 1'-0"
A-I.O.M.V.



1 BASEMENT FLOOR PLAN
Scale: 1/8" = 1'-0"
A-I.O.M.V.



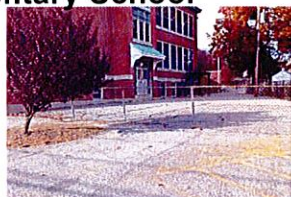
3 2nd FLOOR PLAN
Scale: 1/8" = 1'-0"
A-I.O.M.V.

CAPACITY ANALYSIS						
NORTH PROVIDENCE PUBLIC SCHOOLS						
MARIEVILLE SCHOOL				PRE K-5 GRADE		
ROOM NUMBER	USE		SIZE SQ.FT.	ROOM CAPACITY TEACHERS CONTRACT	CODE CAPACITY	SIZE PER RIDE
	CURRENT USE	ROOM				
MAIN LEVEL						
1	GRADE K	CLASSROOM	840	20	42	1,200
2	GRADE 2	CLASSROOM	840	20	42	950
3	GRADE K	CLASSROOM	840	20	42	1,200
4	GRADE 2	CLASSROOM	850	20	42	950
5	SPECIAL EDUCATION	CLASSROOM	830	11	41	500
6	GRADE 1	CLASSROOM	840	20	42	950
7	RESOURCE	CLASSROOM	840	11		500
8	GRADE 1	CLASSROOM	840	20	42	950
9	GRADE 4	CLASSROOM	820	25	42	950
10	GRADE 5	CLASSROOM	790	25	39	950
11	GRADE 5	CLASSROOM	780	25	39	950
12	GRADE 4	CLASSROOM	810	25	40	950
	GYM/ CAFETERIA		2,473			6,300
	STORAGE		88			
	KITCHEN		83			1,600
	BOYS LAVATORY		230			
	GIRLS LAVATORY		230			
	NURSE	OFFICE	240			510
	MAIL ROOM	STORAGE	81			
	JANITORIAL ROOM	STORAGE	48			1,500
	BOILER ROOM		254			
	PRINCIPAL'S OFFICE	OFFICE	137			1500 (GEN. OFFICE)
	OFFICE	OFFICE	188			
	OFFICE	OFFICE	188			
BASEMENT						
	LIBRARY		819			2,020
	READING ROOM		397			500
	TEACHERS LOUNGE	OFFICE	360			300
	FOOD PANTRY	STORAGE	343			
	GIRLS LAVATORY		170			
	BOILER ROOM		324			
	BOYS LAVATORY		170			
	MAINTENANCE ROOM	STORAGE	421			
2ND FLOOR						
13	ART	CLASSROOM	820		41	1,150
14	MUSIC	CLASSROOM	820		41	1,350
14	GRADE 3	CLASSROOM	790	20	39	950
15	GRADE 3	CLASSROOM	780	20	39	950
16	READING	CLASSROOM	800		40	950
	SOCIAL WORK	OFFICE	340			
	OFFICE	OFFICE	52			
	OFFICE	OFFICE	52			
	TOTAL BUILDING SQ.FT.		28575			
	CURRENT ENROLLMENT:		248			
	TOTAL CAPACITY:		282	X 95% = 268		
	95% UTILIZATION		268			
	SQ. FT. PER STUDENT:		106	(AT CAPACITY)		
			115	(AT CURRENT ENROLLMENT)		

Marieville Elementary School



- BUS DROP OFF



ACCESS TO MAIN ENTRANCE



ENTRANCE



FACULTY PARKING



FIRE SCAPE



GUARDRAIL NOT 42"



IMG_5715



IMG_5719



IMG_5720



IMG_5729



INTERIOR STAIR (2)



INTERIOR STAIR



KITCHEN



MAIN ENTRANCE



NOT ADA (2)



NOT ADA (3)



NOT ADA (4)



NOT ADA (5)



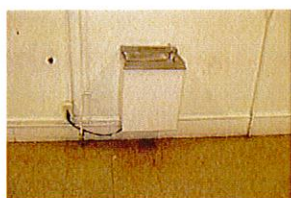
NOT ADA (6)



NOT ADA (7)



NOT ADA (8)



NOT ADA



PARENT PARKING - NOT ADA



PARKING VISITORS



PAVEMENT



PAVING (2)



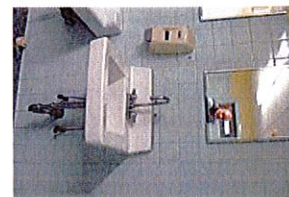
PAVING (3)



PAVING



RR (2)



RR (3)



RR (4)



RR



SITE - BUSS DROP OFF

ARCHITECTURAL FEASIBILITY STUDY

MARIEVILLE ELEMENTARY SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
- 3 - ACTION REQUIRED 4-5 YEARS
- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

GENERAL INFORMATION

NAME OF SCHOOL: MARIEVILLE ELEMENTARY SCHOOL

PRINCIPAL: BRUCE BUTLER

ADDRESS: 1135 MINERAL SPRING AVENUE NORTH PROVIDENCE, RI 02904

OWNER: NORTH PROVIDENCE SCHOOL DEPARTMENT

GRADE LEVELS: K THROUGH 5

STUDENT POPULATION: 248

STUDENT CAPACITY: 268

YEAR CONSTRUCTED: 1900

ADDITIONS: 1950's

CONSTRUCTION DATA:

STATE BUILDING CODE / CONSTRUCTION TYPE	
ORIGINAL BUILDING:	III B BRICK STEEL WOOD
FIRST ADDITION:	III B
SECOND ADDITION:	III B
OCCUPANCY GROUP:	E
SUB - BASEMENT:	III B
BASEMENT:	N/A
GRADE LEVEL:	B
SECOND FLOOR:	III B
THIRD FLOOR:	III B

NUMBER OF STORIES	
ORIGINAL BUILDING:	3
FIRST ADDITION:	1
SECOND ADDITION:	N/A

ARCHITECTURAL FEASIBILITY STUDY

MARIEVILLE ELEMENTARY SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
 2 - ACTION REQUIRED 2-3 YEARS
 3 - ACTION REQUIRED 4-5 YEARS
 4 - ACTION REQUIRED 5+ YEARS
 5 - MONITOR FOR FUTURE MAINTENANCE

INTERIOR FINISHES

	FLOOR FINISH	CONDITIONS	WALL FINISH	CONDITIONS	CEILING FINISH	CONDITIONS
TYPICAL CLASSROOMS	VCT/ATC	2	CMU/GYP	2	SAT	2
GYM	VCT/ATC					
GYM LOCKER ROOMS	N/A					
LOCKER ROOMS	N/A					
AUDITORIUM	N/A					
CAFETERIA	SAME AS GYM					
LIBRARY	VCT/ATC	2	GYP/PTD	3	SAT	2
OFFICES	VCT/ATC	2	GYP/PTD	3	SAT	2
TEACHER LOUNGE	VCT/ATC	2	GYP/PTD	3		2
TOILETS	CT	2	CT CMU	3	SAT	2
CORRIDORS	VCT/ATC	2	CMU/GYP	2	SAT	2
LOBBIES	VCT ATC	2	CMU/GYP	2	SAT	2
VESTIBULE	NON					
STAIRS	WD	2	GYP	2	GYP	2
KITCHEN	SAME AS GYM					
MECHANICAL/SERVICE	CONC	2	CMU/PLASTER	2		

INTERIOR ELEMENTS

	MATERIAL	CONDITION	REMARKS
INTERIOR DOORS	WD/MTL	3	NEW FIRE DOOR AT 1930 BUILDING
HARDWARE	1/2 NEW	2	NO
LOCKERS	N/A		
CUBBIES	WD	2	OPEN
COUNTER/CABINETS	WD/PL	2	
TEACHERS WARDROBE	WD	2	

ABBREVIATIONS

SAT	SUSPENDED ACOUSTICAL TILE	CONC	CONCRETE
VCT	VINYL COMPOSITE TILE	CMU	CONCRETE MASONRY UNIT
ACT	ASBESTOS COMPOSITE TILE	GYP BD	GYPSUM BOARD
CT	CERAMIC TILE	PTD	PAINTED
PL	PLASTIC LAMINATE	BIT	BITUMINOUS PAVING
WD	WOOD	ALUM	ALUMINUM
MTL	METAL	N/A	NOT APPLICABLE
		RT	RUBBER TILE

ARCHITECTURAL FEASIBILITY STUDY

MARIEVILLE ELEMENTARY SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
- 3 - ACTION REQUIRED 4-5 YEARS
- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

PROVISIONS FOR ACCESSIBILITY

EXTERIOR ACCESSIBLE ROUTE	
ACCESSIBLE ROUTE:	

	COMPLIANCE	REMARKS
PRIMARY ENTRANCE:	YES	VERY DIFFICULT TO IDENTIFY
EXTERIOR/ EGRESS DOORS:	YES	FROM STREET
SIGNAGE:	NO	

INTERIOR ACCESSIBLE ROUTE	COMPLIANCE	REMARKS
ACCESSIBLE ROUTE:	NO	MULTIPLE INTERIOR STAIRS
ENTRANCE VESTIBULES:	YES	
SIGNAGE:	NO	
OFFICES:	NO	NO ADA COUNTER
LIBRARY:	NO	IN BASEMENT
AUDITORIUM	N/A	
CAFETERIA:	YES	
CROSS- CORRIDOR:	NO	MULTIPLE INTERIOR STAIRS
STAIRS:	NO	
HARDWARE:	NO	ONLY AT NEW DOORS
ADMINISTRATION:	NO	NO ADA COUNTER
GYMNASIUM:	YES	
LOCKER ROOM:	N/A	
CLASSROOM DOORS:	NO	SEE NOTES
DRINKING FOUNTAINS	NO	
CLASSROOM SINKS:	NO	

CONDITIONS				
VERTICAL ACCESS:	NO			
(ELEVATORS / LIFTS)				

	FLOOR SURFACE	HANDRAIL / GUARD HEIGHTS	CONDITIONS
STAIRWAYS:	NO		
RAMPS:			

ARCHITECTURAL FEASIBILITY STUDY

MARIEVILLE ELEMENTARY SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
- 3 - ACTION REQUIRED 4-5 YEARS
- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

PROVISIONS FOR ACCESSIBILITY CONT.**CLINIC:**

REQUIRED CLINIC AREAS/ ASSEMBLIES	COMPLIANCE	CONDITIONS	REMARKS
WAITING AREA:	NO		
PRIVATE MEETING AREA:	NO		
EXAMINATION AREA:	NO		
REST ROOM:	NO		

KITCHEN:

REQUIRED KITCHEN AREAS/ ASSEMBLIES	COMPLIANCE	CONDITIONS	REMARKS
WASHABLE SURFACES:	NO		
HAND SINK:	NO		
REST ROOM:	NO		

CLASSROOM EGRESS:

	COMPLIANCE	CONDITIONS	REMARKS
EMERGENCY RESCUE WINDOW:	NO		
DOORS BETWEEN CLASSROOMS:	NO		

ARCHITECTURAL FEASIBILITY STUDY

MARIEVILLE ELEMENTARY SCHOOL

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- 4 - ACTION REQUIRED 5+ YEARS
- 5 - MONITOR FOR FUTURE MAINTENANCE

SITE DATA:

	DESCRIPTION
LOT AREA:	
LAND USED:	FACULTY PARKING IS NOT ON SCHOOL OWN SITE

	MATERIALS	CONDITIONS	REMARKS
PARKING LOT:	BIT	2	
SIGNAGE:	WD	4	
BUS DROP OFF:	BIT	2	
BUS PICK UP:	BIT	2	
PARENT DROP:	BIT	4	
PARENT PICK UP:	BIT	4	
LOADING/SERVICE AREA:	BIT	2	
TRASH AREA:	BIT	2	

SITE ACCESSIBILITY DATA:

	COMPLIANCE	REMARKS
PARKING:	NO	NO ADA
CURB CUTS:	NO	NO ADA
RAMPS:	N/A	
WALKWAYS:	NO	NO ADA

ARCHITECTURAL FEASIBILITY STUDY

MARIEVILLE ELEMENTARY SCHOOL

CONDITIONS, KEY CRITERIA:

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BUILDING SYSTEMS AND ASSEMBLIES OF ORIGINAL BUILDINGS CON'**EXTERIOR**

EXTERIOR ENVELOPE	MATERIAL	CONDITIONS	REMARKS
WALL ASSEMBLY:			
ORIGINAL BUILDING:	BRICK	3	SEE STRUCTURAL REPORT
ADDITION:	CMU BRICK	3	
ROOF ASSEMBLY:		1	SEE NOTES
ORIGINAL BUILDING:		1	
ADDITION:		1	
WINDOWS:			
ORIGINAL BUILDING:	ALUM	3	
ADDITION:	ALUM	3	
EXTERIOR DOORS:	ALUM/MTL	2	
ORIGINAL BUILDING:	ALUM/MTL	2	
ADDITION:	ALUM/MTL	2	

ARCHITECTURAL FEASIBILITY STUDY

MARIEVILLE ELEMENTARY SCHOOL

CONDITIONS, KEY CRITERIA:

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SECURITY

	PROVIDED	NOT PROVIDED	REMARKS
SCHOOL SIGN:		X	
MAIN ENTRANCE IDENTIFICATION:		X	
EXTERIOR DOOR IDENTIFICATION:		X	
PASSIVE SECURITY:		X	
ACTIVE SECURITY:	X		
EXTERIOR CAMERAS:		X	
INTERIOR CAMERAS:		X	
DOOR FOB:	X		
SENSORS:	X		
CLASS ROOM LOCKDOWN:	X		ONLY IN NEW FIRE DOOR
CLASS ROOM CONNECTING DOOR:	X		

ARCHITECTURAL FEASIBILITY STUDY

MARIEVILLE ELEMENTARY SCHOOL

**ACCESSIBLE
RESTROOMS**

	COMPLIANCE	CONDITIONS	REMARKS
BOYS 1			
TOILET	NO	3	
SINK	NO	3	
ACCESSORIES	NO	3	
GRAB BARS	NO	3	
TURNING RADIUS	NO	3	
GIRLS 2			
TOILET	NO	3	
SINK	NO	3	
ACCESSORIES	NO	3	
GRAB BARS	NO	3	
TURNING RADIUS	NO	3	
MEN 3			
TOILET	NO	2	
SINK	NO	2	
ACCESSORIES	NO	2	
GRAB BARS	NO	2	
TURNING RADIUS	NO	2	
UNISEX 3			
TOILET	NO	2	
SINK	NO	2	
ACCESSORIES	NO	2	
GRAB BARS	NO	2	
TURNING RADIUS	NO	2	
NURSES 4			
TOILET	NO	3	
SINK	NO	3	
ACCESSORIES	NO	3	
GRAB BARS	NO	3	
TURNING RADIUS	NO	3	

MARIEVILLE ELEMENTARY SCHOOL

NOTES:

- CLASSROOM ARE NOT ACCESSIBLE DUE TO MULTIPLE IMPEDIMENTS: STAIRS, DOOR PULL CLEARANCE, HARDWARE.
- LIBRARY, READING ROOM AND OFFICES IN MUSIC/ART ROOM SOCIAL WORKER SHOULD NOT BE ACCESSIBLE TO K,1,2 GRADES.
- ART AND MUSIC NOT ADA.
- STAIR GUARD RAIL AND HANDRAILS NOT COMPLIANT.
- THE MODIFIED BITUMEN WITH GRANULAR SURFACE ROOF IS PAST ITS USEFUL PERFORMANCE LIFE.
- THERE IS ROOF PONDING, SEAMS HAVE FAILED.
- THERE IS EVIDENCE OF SATURATED INSULATION AND FAILED FLASHING, NON FUNCTIONING ROOF DRAINS.
- FIRE CODE: SEE ATTACHMENT FOR FIRE CODE VIOLATIONS OF EXISTING, EGRESS LIGHTING, DOOR HARDWARE, FIRE ALARM, SPRINKLER SYSTEM, SMOKE DETECTOR, WINDOW SHADES AND DOOR PLEXIGLASS.
- WINDOWS FOR RESCUE ASSISTANCE ARE NOT PROVIDED.
- STAIR HAND RAILS ARE NOT COMPLIANT (RETURNS, EXTENDING LOW RACK).
- CORRIDOR DOORS SWING INTO REQUIRED LANDING CLEARANCE.

Marieville Elementary School - MEP



GEDC0026



GEDC0001



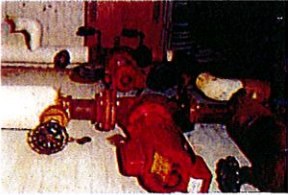
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GEDC0003



GEDC0004



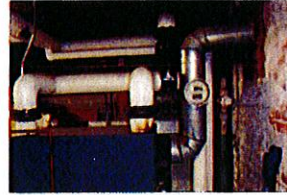
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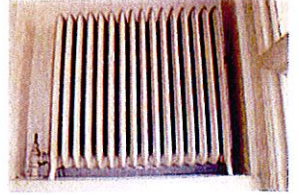
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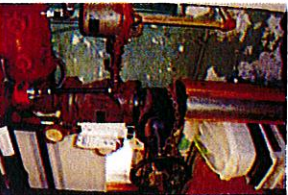
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GEDC0008



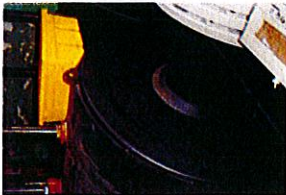
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GEDC0011



GEDC0012



GEDC0013



GEDC0014



GEDC0015



GEDC0016



GEDC0017



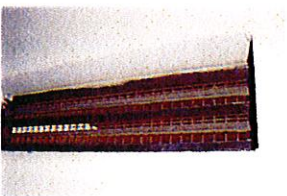
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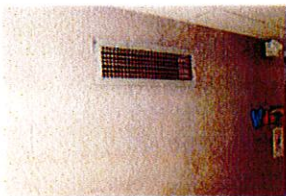
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GEDC0020



GEDC0021



GEDC0022



GEDC0023



GEDC0024



GEDC0025

ARCHITECTURAL FEASIBILITY STUDY

MARIEVILLE ELEMENTARY SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
- 3 - ACTION REQUIRED 4-5 YEARS
- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

ELECTRICAL

1) THE POWER, SIGNAL, LIGHTING, FIRE ALARM AND LIFE SAFETY SYSTEMS AND DEVICES IN THIS SCHOOL
APPEAR TO HAVE REACHED THEIR USEFUL LIFE.

OBSERVATIONS:

ANY IMPROVEMENTS TO THIS SCHOOL WILL REQUIRE COMPLETE SYSTEM UPGRADES.
A NEW ADDRESSABLE FIRE ALARM SYSTEM IS SCHEDULED TO BE INSTALLED
IN THE NEAR FUTURE.

RECOMMENDATIONS:

	RATING	VOLTAGE	METERING	DATE OF INSTALLATION	CONDITIONS
SERVICE:	400A	120/240	1 PH, 3W	1930/1960	POOR

	TYPE	LOCATION	CONDITIONS
TRANSFORMER:	50KVA	120/240 POLE MTD	1930 FAIR

	RATING	ENERGY SOURCE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
EMERGENCY GENERATOR:	NONE				

	TYPE	DATE OF INSTALLATION	CONDITIONS
DISTRIBUTION SYSTEM:	CONDUCTORS	1930/1960	FAIR

	IN CONDUIT	NON GROUNDED /	DATE OF INSTALLATION	CONDITIONS
DEVICES:				
TYPICAL CLASSROOMS:	X			FAIR
OFFICES:	X			FAIR
GYM / CAFETERIA:	X			FAIR
LOBBY / CORRIDOR:	X			FAIR
TOILETS:	X			FAIR

NOTES:

1) THE POWER, SIGNAL, LIGHTING, FIRE ALARM AND LIFE SAFETY SYSTEMS AND DEVICES IN THIS SCHOOL
APPEAR TO HAVE REACHED THEIR USEFUL LIFE. ANY IMPROVEMENTS TO THIS SCHOOL WILL REQUIRE COMPLETE UPGRADES.

ARCHITECTURAL FEASIBILITY STUDY

MARIEVILLE ELEMENTARY SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
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ELECTRICAL CONT.

LIGHTING	LAMP TYPE	MOUNTING	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	FLUORESCENT	SURFACE	10+ YEARS	FAIR
OFFICES:	FLUORESCENT	RECESSED	10+ YEARS	FAIR
LIBRARY:	FLUORESCENT	SURFACE	10+ YEARS	FAIR
GYM / CAFETERIA:	TSHO	SUSPENDED	2005	GOOD
LOBBY / CORRIDOR:	FLUORESCENT	RECESSED	10+ YEARS	FAIR
TOILETS:	FLUORESCENT	SUSPENDED	10+ YEARS	FAIR
LIGHTING CONTROLS:	SWITCHING		10+ YEARS	FAIR
THEATER LIGHTING SYSTEM::	N/A			

SITE LIGHTING:	LAMP TYPE:	MOUNTING	DATE OF INSTALLATION	CONDITIONS
SPORTS FIELDS:	N/A			
PARKING:	NONE			
WALKWAYS:	MELTAL HALIDE	WALL	10+ YEARS	FAIR
BUILDING ENTRANCES:	COMP FLUOR	WALL PACKS	10+ YEARS	FAIR

SECURITY SYSTEM:	TYPE:	MANUFACTURER:	DATE OF INSTALLATION	CONDITIONS
CCTV:	N/A			
DOOR ACCESS CONTROLS:	KEY FOB	KEYSCAN	1960	FAIR
DETECTION DEVICES:	MOTION	KEYSCAN	1960	FAIR

COMMUNICATIONS SYSTEM:	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
MASTER CLOCK / PROGRAM:	YES		1930	FAIR
TYPICAL CLASSROOMS:	DATA RECEPT	UNKNOWN	1960	FAIR
OFFICES:	TEL/DATA RECEPT	UNKNOWN	1960	FAIR
PUBLIC AREAS:	TEL/DATA RECEPT	UNKNOWN	1960	FAIR

ARCHITECTURAL FEASIBILITY STUDY

MARIEVILLE ELEMENTARY SCHOOL

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TELE/ DATA VIDEO SYSTEM	TYPE	MANUFACTURER	CCTV	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	HARDWIRE & WIFI	UNKNOWN	NO	1960	FAIR
OFFICES:	HARWIRE	UNKNOWN	NO		FAIR
LIBRARY:	HARDWIRE & WIFI	UNKNOWN	NO		FAIR
GYM/ CAFETERIA:	NONE				

LOCAL SOUND SYSTEMS	TYPE	MANUFACTURER	CONTROLS	DATE OF INSTALLATION	CONDITIONS
GYM/ CAFETERIA	PA SYSTEM	UNKNOWN			

	TYPE:	MANUFACTURER:	CONTROLS	DATE OF INSTALLATION	CONDITIONS
EMERGENCY LIGHTING:	LIGHTED	UNKNOWN	BATTERY B/U	1960	POOR
EXIT LIGHTING:	NONE				

	TYPE:	MANUFACTURER:	NOTIFICATIONS	DATE OF INSTALLATION	CONDITIONS
FIRE ALARM SYSTEM:	CONVENTIONAL	NOTIFIER	AUDIO/VISUAL	1960	POOR

FIRE ALARM DEVICES	DETECTOR TYPE	ALARM SIGNAL TYPE	PULL STATION	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	HEAT DETECTION	NONE		1960	POOR
OFFICES:	HEAT DETECTION	NONE		1960	POOR
LIBRARY:	HEAT DETECTION	NONE		1960	POOR
AUDITORIUM / STAGE:	N/A			1960	POOR
GYM/ CAFETERIA:	HEAT DETECTION	AUDIO DEVICE	YES	1960	POOR
LOBBY / CORRIDOR:	SMOKE	NONE	YES	1960	POOR
KITCHEN:	N/A				
STORAGE / SERVICE:	HEAT DETECTION	NONE		1960	POOR
TOILETS:	HEAT DETECTION	NONE		1960	POOR

NOTES:

CLASSROOMS DO NOT HAVE FIRE ALARM STROBE DEVICES OR EMERGENCY LIGHTING.

ARCHITECTURAL FEASIBILITY STUDY**SECTION 15500**

MARIEVILLE ELEMENTARY SCHOOL

CONDITIONS, KEY CRITERIA:

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HEATING & VENTILATION - MARIEVILLE ELEMENTARY

CENTRALIZED SYSTEMS	ENERGY SOURCE	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
HEATING EQUIPMENT #1:	NAT GAS/OIL	BOILER - HW/STM	WEIL McLAIN	2005	5 GOOD
COOLING EQUIPMENT #1:	N/A	-	-	-	
EXHAUST EQUIPMENT #1:	ELECT.	ROOF FAN	-	ORIGINAL	2 POOR

DISTRUBUTION SYSTEMS	SIZE	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
HEATING DISTRUBUTION EQUIPMENT:	PUMPS (2) - 3/4HP	INLINE	TACO	1970s	2 POOR
COOLING DISTRUBUTION EQUIPMENT:	N/A	-	-	-	
AIR DISTRIBUTION EQUIPMENT:	N/A	-	-	-	

TERMINAL EQUIPMENT	TYPE	MANUFACTURER	CONTROLS	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS (1930):	STEAM RAD.	-	NONE	ORIGINAL	3 FAIR
TYPICAL CLASSROOMS (1960):	HW BB	-	ELECTRONIC	ORIGINAL	3 FAIR
OFFICES:	BB	-	ELECTRONIC	ORIGINAL	3 FAIR
LIBRARY:	UV & EF	-	ELECTRONIC	ORIGINAL	2 POOR
CAF/GYMNASIUM:	AHU	-	ELECTRONIC	ORIGINAL	3 FAIR

NOTES:

- 1) THERE ARE TWO BOILERS, ONE STEAM FOR THE OLDER BUILDING AND ONE HW FOR THE NEWER BUILDING. BOILERS WERE CONVERTED FROM OIL TO DUAL FUEL IN 2011. HW BOILER IS WEIL McLAIN 988 (2176MBH OUT) STEAM BOILER IS 678 (643MBH OUT).
- 2) THERE ARE TWO 225 GALLON INTERIOR OIL TANKS FOR THE STEAM BOILER.
- 3) NO CENTRAL COOLING. WINDOW A/C IN SELECT AREAS.
- 3) CLASSROOMS HAVE BASEBOARD HEAT IN CABINETRY OR RADIATORS. NO VENTILATION OR EXHAUST.
- 4) BB AND CONVECTORS IN HALLWAYS, OFFICES, BATHROOMS, ETC.
- 5) GYM HAS A HOT WATER AIR HANDLING UNIT AND DEDICATED EXHAUST FANS.
- 6) STEAM SYSTEM IS SINGLE PIPE LOW PRESSURE STEAM. NO CONDENSATE PUMP OR PIPING.

ARCHITECTURAL FEASIBILITY STUDY

MARIEVILLE ELEMENTARY SCHOOL

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PLUMBING SYSTEM

SERVICE	PIPE SIZE	METER SIZE	PRESSURE REGULATOR	OPER PRESSURE	PIPE MATERIAL	SOURCE	AGE	MISCELLANEOUS
WATER:	4"	2"	N/A	CITY	COPPER	MUNICIPAL	1960	NO BPF
GAS:	1-1/2"	2"	Y	7" W.C.	STEEL	UTILITY	2007	3000 CFH

SYSTEM	PIPE MATERIAL/CONDITION	TYPE INSULATION/ CONDITION	MISCELLANEOUS
DOMESTIC COLD WATER:	COPPER/FAIR	FIBERGLASS	ORIGINAL
DOMESTIC HOT WATER:	COPPER/FAIR	FIBERGLASS	ORIGINAL
SANITARY WASTE & VENT:	CAST IRON/FAIR		ORIGINAL
STORM DRAINAGE:	CAST IRON/FAIR		ORIGINAL
GAS:	STEEL/GOOD		
NON-POTABLE (LAB) CW:	N/A		
NON-POTABLE (LAB) HW:	N/A		
ACID (LAB) WASTE & VENT:	N/A		
KITCHEN WASTE:	N/A		
TEMPERED WATER:	N/A		

EQUIPMENT	TYPE/FUEL	AGE	CONDITION	MISCELLANEOUS
DOMESTIC WATER HEATER:	ATMOSPHERIC/GAS	2010	5	JET GLASS MI5035 FBN
SANITARY EJECTOR PUMP:	N/A			
STORM EJECTOR PUMP:	N/A			
DOMESTIC WATER BOOSTER PUMP:	N/A			
INTERIOR KITCHEN GREASE TOP:	N/A			

ARCHITECTURAL FEASIBILITY STUDY

MARIEVILLE ELEMENTARY SCHOOL

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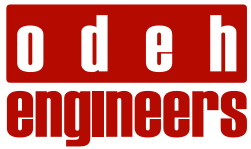
PLUMBING SYSTEM CONT.

PLUMBING FIXTURES	TYPE/ INSTALLATION	LOW CONSUMPTION/ METERING	ACCESSIBLE	CONDITION	MISCELLANEOUS
WATER CLOSET:	FLUSH VALVE	NO		2	POOR CONDITION
URINAL:	FLUSH VALVE	NO		2	POOR CONDITION
LAVATORY:	WALL HUNG RECESSED	NO		2	POOR CONDITION
DRINKING FOUNTAIN/WATER COOLER:	BUBBLER	NO		2	POOR CONDITION
CLASSROOM SINK:	SELF RIMMING	NO		3	
CLASSROOM BUBBLER / DRINKING FOUNTAIN:	N/A				
MOP SINK:	JANITOR SINK			2	
SHOWERS:	N/A				

MISCELLANEOUS FIXTURES	MISCELLANEOUS
HOSE BIBB:	
WALL HYDRANT:	2
FLOOR DRAIN:	
EMERGENCY SHOWER / EYEWASH:	N/A
EMERGENCY EYEWASH:	N/A
LAB FAUCETS:	N/A
LAB GAS COCKS:	N/A

NOTES:

IN GENERAL THE PLUMBING FIXTURES ARE IN FAIR TO POOR CONDITION AND IN NEED OF REPLACEMENT. THE WASTE AND WATER PIPING INFRASTRUCTURE IS ORIGINAL TO THE BUILDING. WE WOULD EXPECT CONTINUED MAINTENANCE/REPAIR AS THE SYSTEMS CONTINUE TO AGE. THE WATER HEATERS ARE RELATIVELY NEW AND APPEAR IN GOOD WORKING CONDITION. THE GIRLS ROOM HAS NEW SENSOR OPERATED FLUSH VALVES - BASEMENT BATHROOMS LACK FLOOR DRAINS & HOSE BIBBS



1223 Mineral Spring Avenue
North Providence, Rhode Island 02904

January 2, 2014

Mr. Luis Torrado
L.A. Torrado Architects
35 Greenwich Street
Providence, Rhode Island 02907

RE: Marieville Elementary School Facilities Assessment - Structural

Transmitted via email (la.torrado@verizon.net)

Dear Luis:

Per your request, this office has conducted an inspection and assessment of the structural elements of the Marieville Elementary School buildings. The following is a summary of the investigation and recommendations.

Standard of Care and Use of Report

Please note that the results of this investigation are limited to visual observations of the accessible areas of the building only. While we have made our best efforts to investigate the building structure, many conditions were concealed by architectural finishes or were otherwise inaccessible, and therefore additional damage or other unforeseen conditions not included in this report may be present. The findings of this report therefore represent our best professional opinion based on the information available to us at this time. This report is for use by L.A. Torrado Architects and the North Providence School Department to assess the existing structural condition of the Marieville Elementary School buildings.

Actions Taken

Odeh Engineers, Inc. undertook the following actions to complete this structural assessment:

- On Wednesday, December 4, 2013, Odeh Engineers' Field Engineer, Paul Wilkinson, inspected and assessed the Marieville Elementary School buildings. Where encountered, the Field Engineer documented and photographed existing deficiencies in the structural elements of the building, or potential problem areas that could lead to structural deficiencies.
- Subsequent to the site visit, the Field Engineer reviewed his observations, findings and photographs with Principal Engineer, M. David Odeh, P.E.
- Odeh Engineers has prepared this written summary of findings and recommendations.

Phone: 401.724.1771

Fax: 401.724.1981

Documents Reviewed

There were no structural drawings for the Marieville Elementary School buildings made available to Odeh Engineers at the time of authoring this structural assessment report.

Key Plan

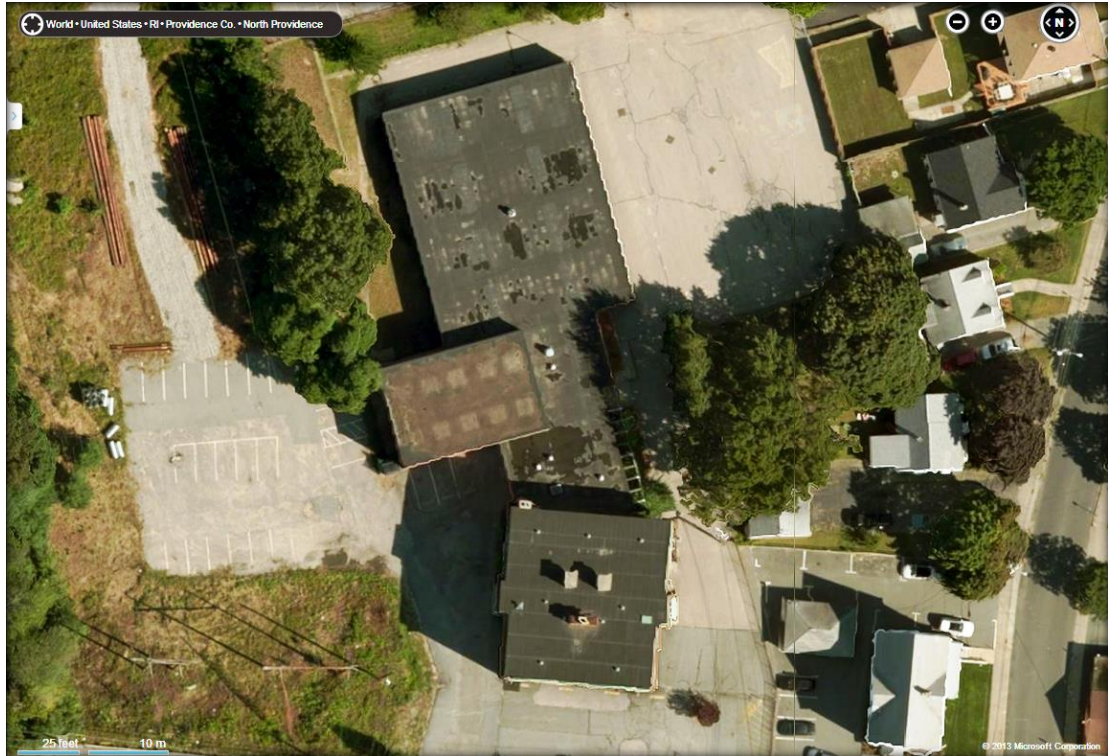


FIGURE 1 – *This photograph is an aerial image of the Marieville Elementary School buildings. Note that north is vertically up in this image.*

Summary of Existing Conditions

The Marieville Elementary School buildings appeared to be in good structural condition with the exception of the following structural deficiencies and/or potential problem areas:

1. There is widespread ponding of water on the flat roofs of the Marieville Elementary School buildings. (Please refer to the Photo #1 below.) **Comments and Recommendations:** *Although there was no visual evidence of structural distress, ponding of water on the roof of a building can cause the roof structure to sag due to the weight of the water. As the roof sags, more water can become entrapped in the low spot of the roof, causing additional sagging. The roof structure should be adequately pitched, or tapered insulation below the roof membrane must be installed, to allow the water to flow to the roof drains.*



PHOTO #1 – *This photograph shows the water ponding on the flat roof of the Marieville Elementary School building.*

2. The edges of the rubber roofing membrane on the Gymnasium roof have become separated from the termination bar attached to the roof cornice wood fascia board. (Refer to Photo #2 below.) **Comments and Recommendations:** *The rubber roofing membrane must be reattached to the building structure.*



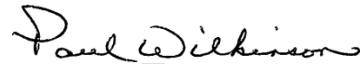
PHOTO #2 – *This photograph shows the edge of the rubber roofing membrane having become detached from the termination bar fastened to the wood fascia board located along the south side of the Marieville Elementary School gym roof.*

We trust that this report meets your needs at this time. Should you wish to proceed with a more detailed study or design, Odeh Engineers would be pleased to provide these additional services for the project. In the meantime, please do not hesitate to contact this office if you have any questions or require additional information.

Sincerely,



M. David Odeh, P.E.
Principal



Paul Wilkinson
Field Engineer

DRAFT

Leonard A. Albanese Jr.
Chief of Department



Lt. John P. Horan
Fire Marshal

North Providence Fire Department

1951 Mineral Spring Avenue North Providence, R.I. 02904
Phone: 231-8505 Ext. 304 Fax: 233-1460 E-Mail: firemarshal@northprovidenceri.gov

August 8, 2013

Melinda Smith, Superintendent of Schools
2240 Mineral Spring Avenue
North Providence, RI 02911

RE: Marieville Elementary School

Superintendent Smith,

The following is a list of violations which were discovered during our annual inspection of Marieville Elementary School.


1. Exit Signs are missing or in need of repair in the following locations;
 - a. Room 3,4,5,6,7 and 8 require exit signs over the secondary exit doors
 - b. Throughout the school there are dead batteries. They may be lit under normal power but when the test button is pushed it appears the battery is dead.
2. Sprinklers are either blocked, missing, or damaged in the following locations;
 - a. All sprinkler heads have either minor damage or have paint on them they will need to be replaced
 - b. Nothing is to be stored within 18" of sprinkler heads
 - c. The two pressure gauges for the system are outdated. They must be recalibrated or changed every 5 years.
3. The following doors need repair;
 - a. The exit door from the gymnasium is getting hung up on the ground. This problem will get worse when the cold temperatures come and we get frost heaves.
 - b. Cross corridor doors at the beginning of the single story section of the building are not permitted to be chocked open and are in need of repair. These doors are required to not permit the passage of smoke. These doors are to remain closed while school is in session or be held open with magnetic door holders that release with the activation of the fire alarm.
 - c. The doors to the boiler room must be a fire rated door and be self closing self latching. These doors are to remain closed while school is in session.
4. Extinguishers in the following locations need to be inspected.
 - a. Room 8 has an extinguisher in it that has not been tested since 2010
5. There are multiple penetrations in the egress corridor creating a fire rating less than the required 1/2hr rating
 - a. Display cabinets are a varnished wood with glass front
 - b. Fresh air registers go directly from the main corridor to each room
6. Window shades are required to meet the standard contained in NFPA 701.
7. There are penetrations from the gymnasium into the kitchen area above ceiling. Seal off the penetrations.
8. Just about every existing rescue window is in need of maintenance. These windows are required to open with ease.

RECEIVED AUG 13 2013

9. Stairway railings do not have the required returns and present a catch hazard.
10. The existing fire alarm system does not meet the code and shall be repaired/replaced as necessary
 - a. This is addressed in a previous plan of action and shall be corrected prior to September 2014
11. There are no flows or tampers on the sprinkler.
 - a. This is addressed in a previous plan of action and shall be corrected prior to September 2014
12. An exit inspection program as well as an emergency light/exit sign inspection program shall be implemented. A log book documenting these programs shall be provided.

I believe a lot of this can be addressed prior to the upcoming start of school. Whatever cannot be taken care of will be put into a violation letter with provisions to go to the RI Fire Code Board of Appeal and Review for time extensions.

Respectfully Submitted,



Lt. John P. Horan
Fire Marshal, NPFD

AHERA – ASBESTOS RE-INSPECTION OF ACM & PACM

MARIEVILLE ELEMENTARY SCHOOL

NORTH PROVIDENCE SCHOOL DEPARTMENT

Reinspection Date: 1/31/13

		INSPECTION FINDINGS FOR ACM & PACM																Initials of Surveillance Inspector				
		Type and Quantity																				
		FLOOR COVERING (NF)						CEILING TYPE (F)					Response Action					6 MONTH SURVEILLANCES				
Location of ACBM	Floor	9" x 9" floor tile	12"x12" floor tile	Sheet material	concrete	ceramic	carpet	PLASTER	1' x 1'	2' x 4'	2' X 2'	Wall Material	FRIABLE	DAMAGED	ACCESS	POTENT. DAMAGE	RESPONSE	7/13	1/14	7/14	1/15	7/15
		TSI	MISC.	MISC.		MISC.		SURFACE	MISC	MISC.	MISC.	SURFACE										
HALL			320							320		BL	N	N	Y	X	M8					
ENTRANCE		25	75							100		BR	N	N	Y	X	M8					
OFFICE		160							160			BL	N	N	Y	X	M8					
OFFICE 2		160							160			BL	N	N	Y	X	M8					
OFFICE 3		160							160			BL	N	N	Y	X	M8					
MAIN HALL			2100							2100		BL	N	N	Y	X	M8					
CLASS 8		900								900		BL	N	N	Y	X	M8					
CLASS 7		900								900		BL	N	N	Y	X	M8					
CLASS 6		900								900		BL	N	N	Y	X	M8					
CLASS 4		900								900		BL	N	N	Y	X	M8					
CLAS 3		900								900		BL	N	N	Y	X	M8					
CLASS 5		900								900		BL	N	N	Y	X	M8					
HALL			60							60		BL	N	N	Y	X	M8					
CHARTER 1			500							500		BL	N	N	Y	X	M8					
CONFERENCE			340							340		BL	N	N	Y	X	M8					
CLASS 2		895	5							900		BL	N	N	Y	X	M8					
CLASS 1	1	900								900		BL	N	N	Y	X	M8					
BOYS	1					250						T	N	N	Y	X	M8					
GIRLS	1					250						T	N	N	Y	X	M8					
GYM	1	450										BL	N	N	Y	X	M8					
NURSE	1					300			300			BL	N	N	Y	X	M8					
COPY	1					120			120			BL	N	N	Y	X	M8					
FOYER	B	60						60				PL	N	N	Y	X	M8					
KITCHEN	B	400						400				PL	N	N	Y	X	M8					
HALL	B	125						125				PL	N	N	Y	X	M8					
GIRLS HALL	B	250						250				PL	N	N	Y	X	M8					

		INSPECTION FINDINGS FOR ACM & PACM																Vortex Inc. Page 2 of 2				
																		Initials of Surveillance Inspector				
		Type and Quantity																				
		FLOOR COVERING (NF)						CEILING TYPE (F)					Response Action					6 MONTH SURVEILLANCES				
Location of ACBM	Floor	9" x 9" floor tile	12"x12" floor tile	Sheet material	concrete	ceramic	carpet	PLASTER	1' x 1'	2' x 4'	2' X 2'	Wall Material	FRIABLE	DAMAGED	ACCESS	POTENT. DAMAGE	RESPONSE	7/13	1/14	7/14	1/15	7/15
		TSI	MISC.	MISC.		MISC.		SURFACE	MISC	MISC.	MISC.	SURFACE										
STORAGE	B	110							110			PL	N	N	Y	X	M8					
RESOURCE	B	425						425				PL	N	N	Y	X	M8					
LIBRARY	B						900			900		PL	N	N	Y	X	M8					
LANDING	2		120					120				PL	N	N	Y	X	M8					
HALL	2		400					400				PL	N	N	Y	X	M8					
CLASS 11	2		720							720		PL	N	N	Y	X	M8					
CLASS12	2		720							720		PL	N	N	Y	X	M8					
CLASS 10	2		720					70		650		PL	N	N	Y	X	M8					
CLASS 9	2		720					70		650		PL	N	N	Y	X	M8					
SPEECH	3			120				120				PL	N	N	Y	X	M8					
LANDING	3		125					125				PL	N	N	Y	X	M8					
HALL	3		400							400		PL	N	N	Y	X	M8					
RESOURCE	3		360							360		PL	N	N	Y	X	M8					
CLASS 13	3		720							720		PL	N	N	Y	X	M8					
CLASS 14	3		720							720		PL	N	N	Y	X	M8					

Code: N = NO; Y = YES; T = THERMAL; S = SURFACING; M = MISCELLANEOUS
NC = NO CHANGE; R = REPAIRED; D = DAMAGED

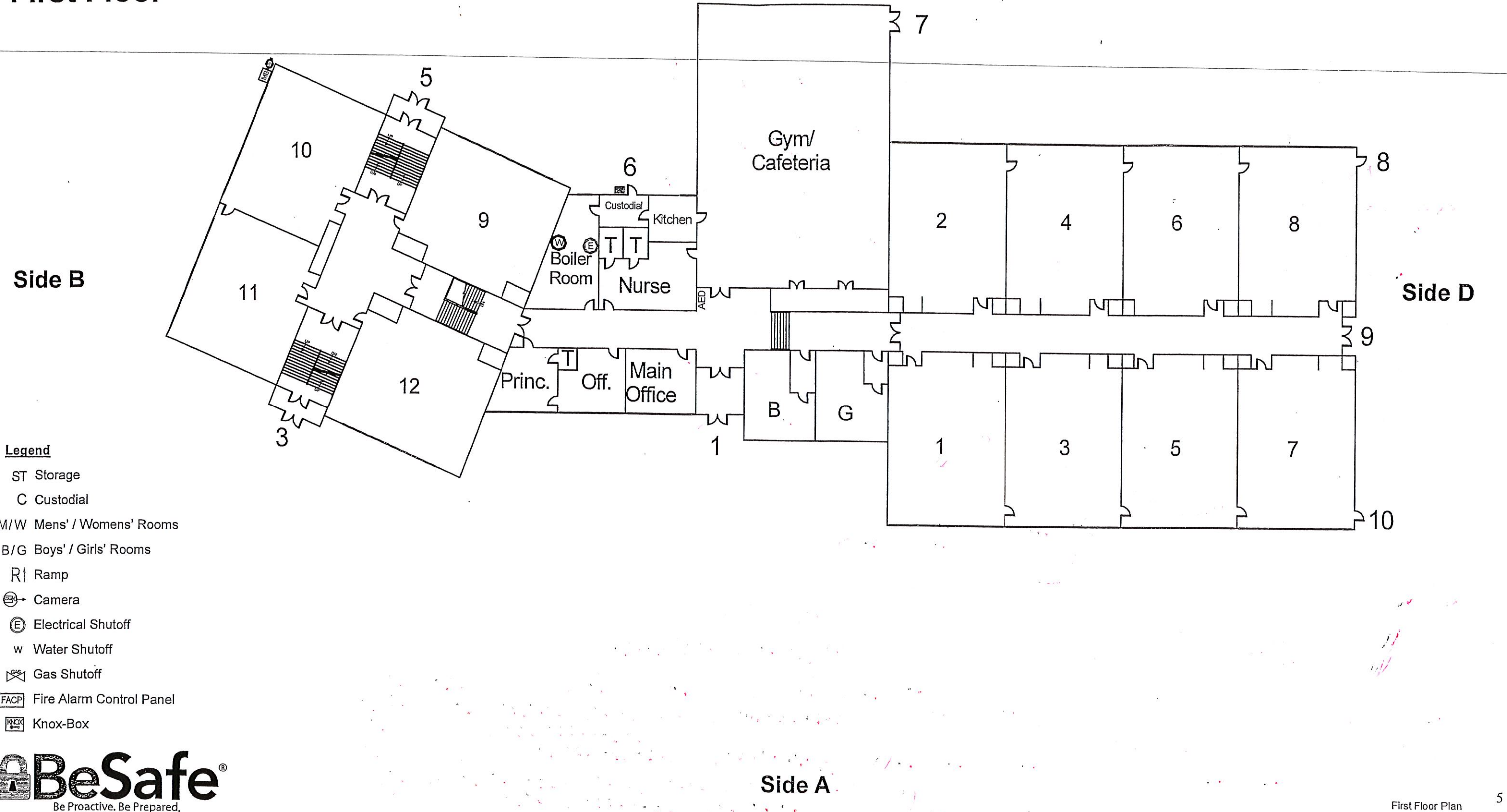
Asbestos Inspector: John Carbone
License Number: 177IS Expires 3/31/13

Management Planner: John Carbone
License Number: 177MP Expires 3/31/13

I, the LEA's Designated Person, have read and understood the recommendations made above: _____ Date: 1/31/13

District:	North Providence Public Schools
Building Name:	Marieville Elementary School
Address:	1135 Mineral Spring Avenue North Providence, RI 02904

First Floor



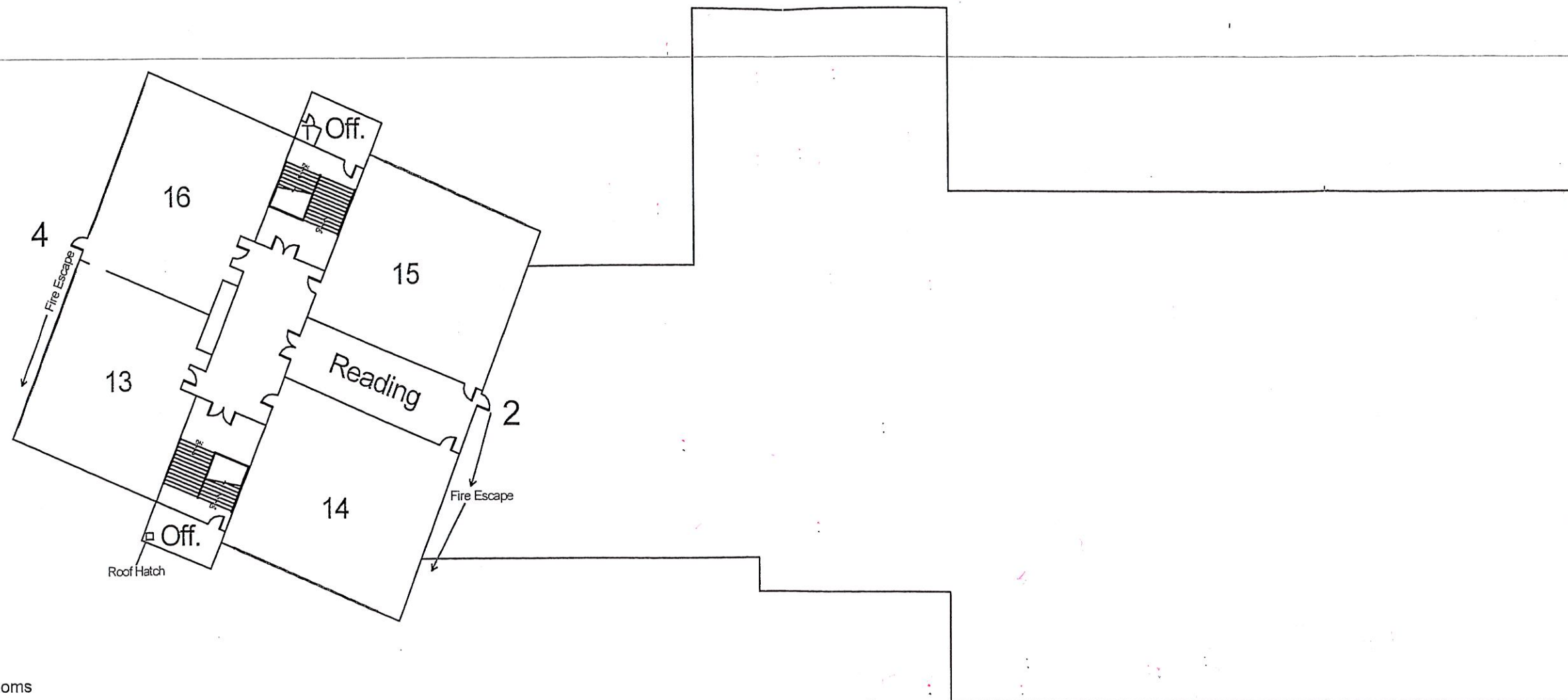
District:	North Providence Public Schools
Building Name:	Marieville Elementary School
Address:	1135 Mineral Spring Avenue North Providence, RI 02904

Second Floor

Side C

Side B

Side D



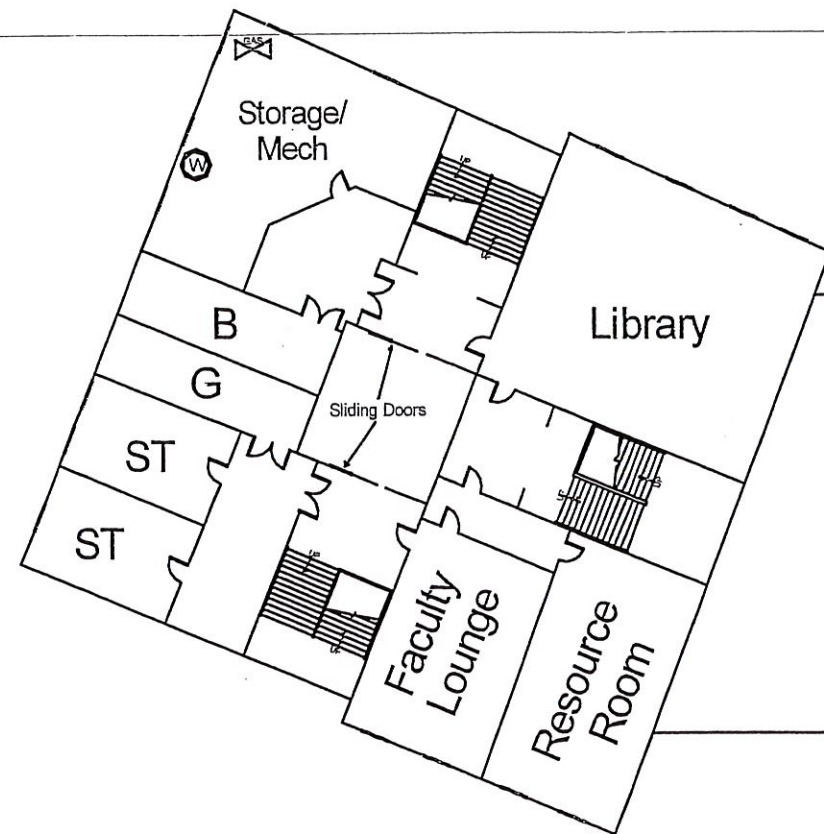
Legend

- ST Storage
- C Custodial
- M/W Mens' / Womens' Rooms
- B/G Boys' / Girls' Rooms
- R Ramp
- Camera
- Electrical Shutoff
- w Water Shutoff
- Gas Shutoff
- FACP Fire Alarm Control Panel
- Knox-Box

Side A

District:	North Providence Public Schools
Building Name:	Marieville Elementary School
Address:	1135 Mineral Spring Avenue North Providence, RI 02904

Basement



Legend

- ST Storage
- C Custodial
- M/W Mens' / Womens' Rooms
- B/G Boys' / Girls' Rooms
- R Ramp
- Camera
- Electrical Shutoff
- w Water Shutoff
- Gas Shutoff
- FACP Fire Alarm Control Panel
- Knox-Box

Side C

Side B

Side D

Side A

“AHERA”
ASBESTOS
RE-INSPECTION & MANAGEMENT PLAN

JANUARY 2013

at the:

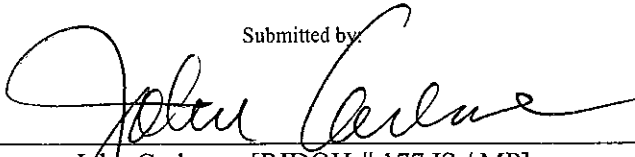
**MARIEVILLE
ELEMENTARY SCHOOL**

1136 Mineral Spring Avenue
North Providence, RI 02904

For:

Armand Milazzo
Director of Non-Instructional Services
North Providence Public Schools

Submitted by:



John Carbone [RIDOH # 177 IS / MP]

VORTEX Inc.
3670 West Shore Road
Warwick, RI 02886

1-800-VORTEXX

☒ *Main copy*

☐ *School copy*

INTRODUCTION

Vortex, Inc. conducted a 3 year Re-inspection of friable and non-friable asbestos-containing building material(s) (ACBM) and "presumed" asbestos-containing building material(s) (PACM) at **Marievile Elementary School, North Providence, Rhode Island**. This Reinspection was performed in accordance with 40 CFR Part 763.85, AHERA FINAL RULE. This Reinspection was approved by the School's Local Education Agencies (LEA) (Armand Milazzo). This inspection was conducted on **January 31, 2013** by John Carbone from Vortex Inc. (RIDOH Asbestos Consultant Certificate #177 IS / MP).

The inspection was conducted in accordance with the AHERA Regulations. Original inspection reports as well as Re-inspection reports were utilized to ascertain the locations of the pre-assessed asbestos-containing building materials and all functional/accessible areas of the school building. These areas included; classrooms, utility closets, janitor's closets, above drop ceilings, and crawlspaces...etc. Building plans and reports were obtained through the school. The identified asbestos-containing building materials are denoted on the asbestos hazard inspection forms for further reference.

Assessment of the previously identified (original AHERA inspection and/or subsequent re-inspections) asbestos-containing materials consists of the information collected during the inspection portion of this project and the potential for the material to become damaged or significantly damaged. The assessment includes the following considerations; deteriorated condition, the friability of the material, vibration, water damage, air erosion, changes in the accessibility of the ACBM, new damage or increased damage to the ACBM, increase or decrease on the potential for significant damage or damage.

INSPECTION

The AHERA Re-inspection evaluation was conducted at **Marievile Elementary School** on **January 31, 2013**. At least once every 3 years after a management plan is in effect, each local education agency (LEA) shall have a Re-inspection evaluation performed by accredited and state certified individual(s). This Reinspection shall consist of all friable and nonfriable, known or assumed ACBM in each school building that they lease, own, or otherwise use as a school building. For each area of the school buildings, the inspector conducted the following assessment criteria:

- 1) Visually reinspect and reassess the condition of all known or assumed ACBM/PACM.
- 2) Visually inspected the material that was previously considered non-friable ACBM/PACM and touched the materials to determine whether it has become friable since the last Re-inspection.
- 3) Identified any homogenous areas with material that has become friable since the last Re-inspection.
- 4) For each homogenous area of newly friable material that is already assumed to be ACBM, bulk material samples were collected and submitted for asbestos analysis by a RI DOH certified laboratory.

5) Assessed the condition of the newly friable material in areas where samples were collected and newly friable materials that are assumed to be ACM. *Suspect ACM bulk material sampling/analysis was not performed as part of this re-inspection and shall remain assumed to contain asbestos.*

6) Reassessed the condition of the friable, known or assumed ACM previously identified.

7) Recorded the previous information for the submittal of this AHERA Re-inspection report and management plan.

Vortex, Inc. inspecting personnel utilized the original and the subsequent Re-inspection reports for this school building. This aided the inspection process and evaluation as to the location, amount, and former condition of the previously assessed asbestos-containing material(s) within the building. This management plan reports on all pre-assessed asbestos containing materials within the building whether there is a physical change or not. Refer to attached Chart of ACM and PACM for homogeneous areas.

ASSESSMENT

The previously identified asbestos-containing building material was identified within its current condition and assessed as to the potential for damage or significant damage. If previously assumed asbestos-contained material is observed to be friable and/or damaged, bulk material sample(s) shall be collected/analyzed for asbestos content. The previously identified asbestos-containing material were classified and categorized to determine the appropriate response actions. The identified, assumed, or suspect asbestos-containing building materials are homogenized under one (1) of the three (3) types of asbestos-containing building materials. They are either:

- 1) Thermal System Insulation
- 2) Surfacing Materials, and/or
- 3) Miscellaneous materials and insulation's

RECOMMENDED RESPONSE ACTIONS

Condition classifications of the asbestos containing building materials are utilized to help the inspector designate a response action in accordance with the AHERA Regulations per 40 CFR 763.88(b) to include:

- 1) *Damaged or significantly damaged thermal system insulation*
- 2) *Damaged friable surfacing ACM*
- 3) *Significantly damaged friable surfacing ACM*
- 4) *Damaged or significantly damaged friable miscellaneous ACM*
- 5) *ACBM with potential for damage.*
- 6) *ACBM with potential for significant damage*
- 7) *Any remaining friable ACM or friable suspect ACM*

RESPONSE ACTION KEYS USED WITHIN ATTACHED CHARTS

Key #	THERMAL INSULATION [T]
1	<i>Isolate area and restrict access.</i> Abate as soon as possible.
2	<i>Continue O&M.</i> Repair or remove as soon as possible, or reduce potential for disturbance.
3-5	<i>Repair, Continue O&M.</i> Number indicates priority if all cannot be done immediately.
6-7	<i>Continue O&M.</i> Take preventative measures to reduce disturbance. Number indicates priority for removal.
8	<i>Continue O&M</i> until major renovation or demolition requires removal under NESHAP's or until hazard factors change.

Key #	SURFACING MATERIALS [S]
1	<i>Isolate area and restrict access.</i> Abate as soon as possible.
2	<i>Continue O&M.</i> Repair or remove as soon as possible, or reduce potential for disturbance.
3	<i>Continue O&M.</i> Schedule removal when practical and cost-effective or reduce disturbance.
4-5	<i>Continue O&M.</i> Schedule removal when practical and cost effective. Number indicates priority for removal.
6-7	<i>Continue O&M.</i> Take preventative measures to reduce disturbance. Number indicates priority for removal.
8	<i>Continue O&M</i> until major renovation or demolition requires removal under NESHAP's or until hazard factors change.

Key #	MISCELLANEOUS MATERIALS [M]
1	<i>Isolate area and restrict access.</i> Abate as soon as possible.
2	<i>Continue O&M.</i> Repair or remove as soon as possible, or reduce potential for disturbance.
3	<i>Continue O&M.</i> Schedule removal when practical and cost-effective or reduce disturbance.
4-5	<i>Continue O&M.</i> Schedule removal when practical and cost effective. Number indicates priority for removal.
6-7	<i>Continue O&M.</i> Take preventative measures to reduce disturbance. Number indicates priority for removal.
8	<i>Continue O&M</i> until major renovation or demolition requires removal under NESHAP's or until hazard factors change.

TYPES OF ACM PRESENT

Refer to the original AHERA and subsequent/attached Re-Inspection Reports for PACM and ACBM locations.

In summary, Vortex Inc. conducted the required three (3) year AHERA Re-inspection at **Marieville Elementary School**. As a results of this Re-inspection, the following materials were observed and determined to be in need of repair and/or removal or changes since the most recent AHERA Re-inspection included:

REFER TO ATTACHED CHART OF ACM

PHYSICAL ASSESSMENT

THE REMAINING ACBM OR PACM WITHIN THIS SCHOOL BUILDING WAS INTACT AND IN GOOD CONDITION AT THE TIME OF THE RE-INSPECTION.

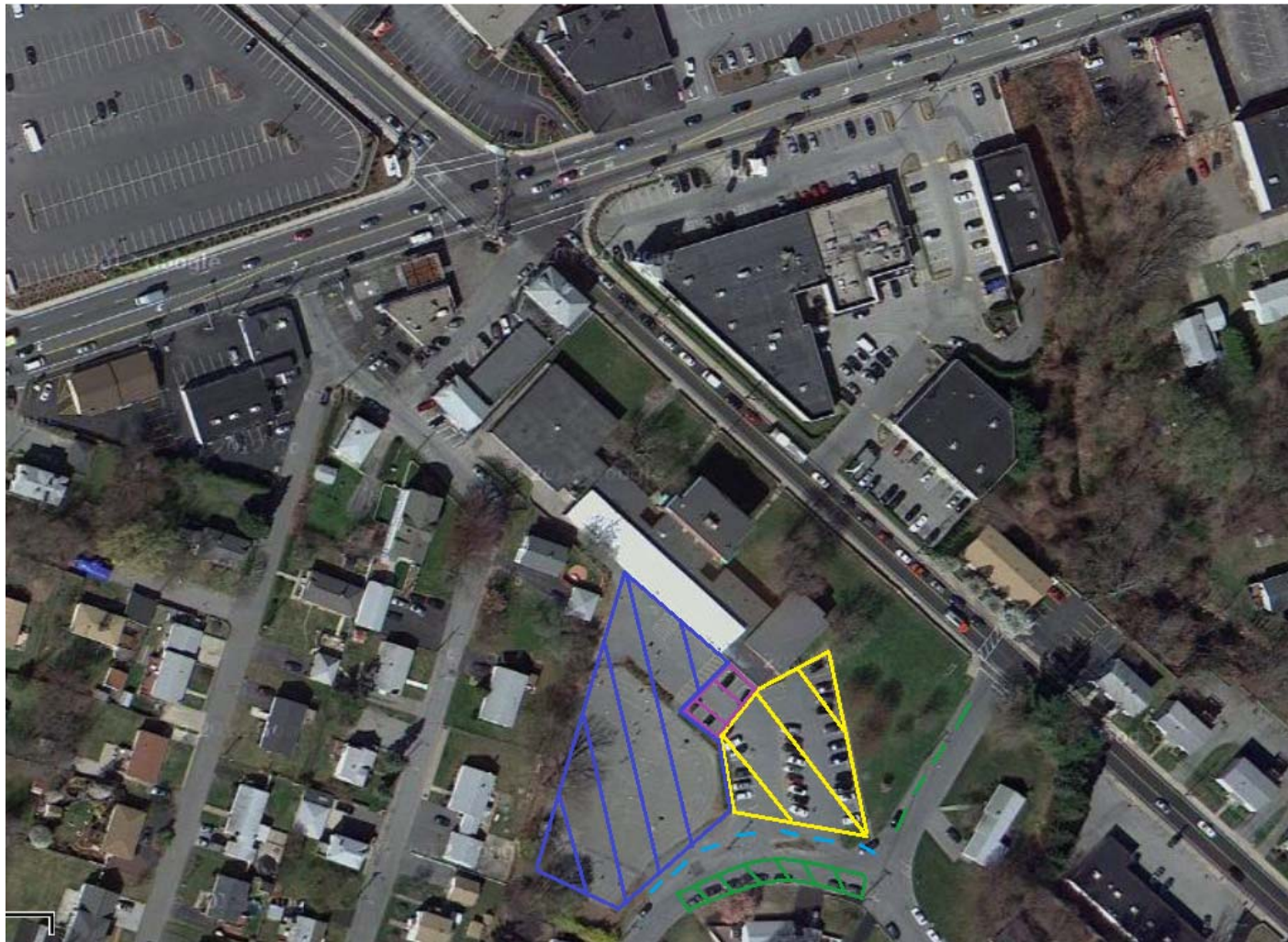
OUTSIDE CONTRACTORS

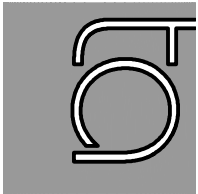
Prior to any outside contractor performing work that May disturb/impact the ACM or PACM building components (pipes, wall plasters, etc.) throughout this school building, they shall be informed (by the LEA) about the suspect material locations. The LEA shall collect/analyze (by a RIDOH licensed Asbestos Inspector) these materials to determine if they contain asbestos (>1%). All lab reports shall be inserted into the AHERA Management Planner book. If lab results confirm the material to contain asbestos, then a RI licensed contractor or competent person (<3') shall remove the ACM prior to repairs/renovation activities. In any event, the contractor shall complete the attached form **OUTSIDE CONTRACTOR - ACKNOWLEDGEMENT STATEMENT FORM** and it shall be inserted into the Management Planner.

STEPS TO INFORM BUILDING OCCUPANTS / GUARDIANS

Workers and building occupants, or their legal guardians shall be informed about Re-inspections, response actions, and post-response action activities, including periodic Re-inspection and surveillance activities that are planned or in progress through postings in the teachers lunch room and information sent home in the annual AHERA Notification letter sent out in early September of each year.

STEPHEN OLNEY ELEMENTARY SCHOOL
1378 DOUGLAS AVENUE NORTH PROVIDENCE, RI 02904





TORADO
ARCHITECTS

28 GREENWICH ST.,
PROVIDENCE, RI 02907
401.781.1583 P
401.781.1583 F

KEY PLAN

RENOVATIONS TO:

**NORTH
PROVIDENCE
PUBLIC
SCHOOLS**

**FACILITY
ASSESSMENT
PROJECT 2013**

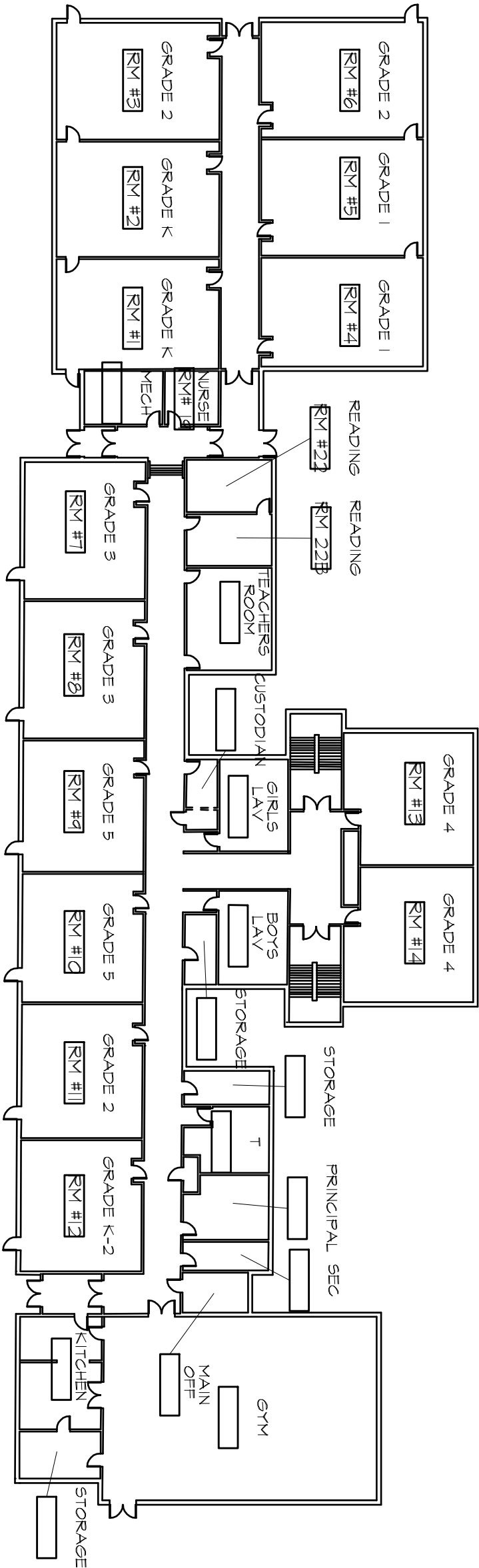
**STEPHEN OUNNEY
ELEMENTARY
SCHOOL**

1878 OQUAS AVE
NORTH PROVIDENCE RI 02804

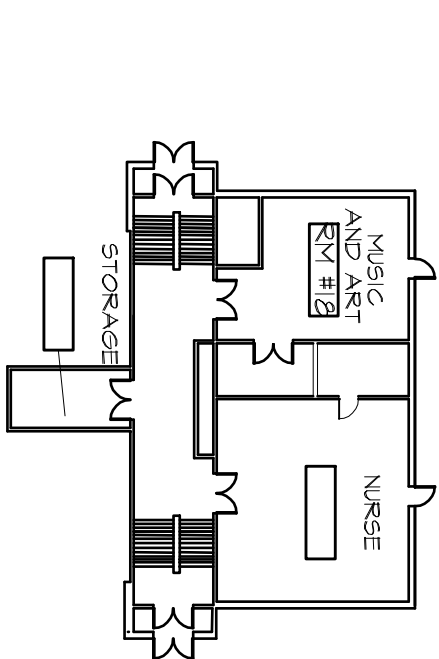
DATE	REV.	DESCRIPTION
REVISIONS		

DATE	06 JANUARY 2014
DESIGN	N.T.
SCHEM	AS NOTED
OWNER	L.T.

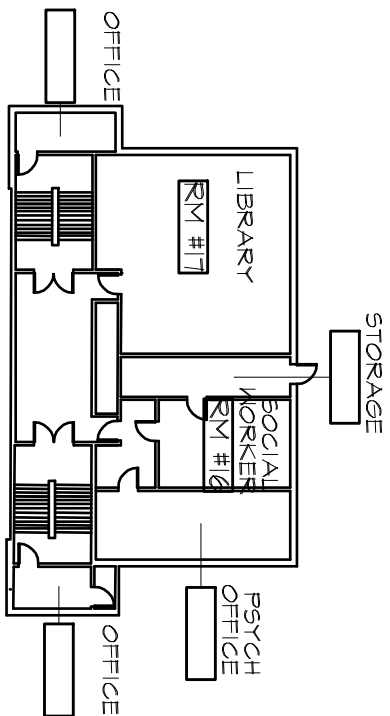
A-1.05



2 1st FLOOR PLAN
Scale: 3/32" = 1'-0"



1 BASEMENT FLOOR PLAN
Scale: 3/32" = 1'-0"



3 2nd FLOOR PLAN
Scale: 3/32" = 1'-0"

NOT TO SCALE
ALL DIMENSIONS ARE APPROXIMATE
BASED ON FIELD SURVEY
AND ARCHITECTURAL RECORDS
NO WARRANTY IS MADE BY THE ARCHITECT
FOR THE ACCURACY OF THE INFORMATION
CONTAINED HEREIN
DATE: 01/06/14
PROJECT: 2013-01-01

CAPACITY ANALYSIS						
NORTH PROVIDENCE PUBLIC SCHOOLS						
STEPHEN OLNEY SCHOOL				PRE K-5 GRADE		
Room Number	Use		Size Sq.Ft.	Room Capacity Teacher Contract	Code Capacity	Size per Ride
	Current Use	Room				
Main Level						
1	Grade K	Classroom	910	20	45	1,200
2	Grade K	Classroom	950	20	47	1,200
3	Grade 2	Classroom	970	20	48	950
4	Grade 1	Classroom	900	20	45	950
5	Grade 1	Classroom	960	20	48	950
6	Grade 2	Classroom	950	20	47	950
7	Grade 3	Classroom	840	20	42	950
8	Grade 3	Classroom	840	20	42	950
9	Grade 5	Classroom	810	25	40	950
10	Grade 5	Classroom	790	25	39	950
11	Grade 2	Classroom	825	20	41	950
12	Grade K-2	Classroom	805	20	40	1,200
13	Grade 4	Classroom	840	25	42	950
14	Grade 4	Classroom	855	25	42	950
19	Nurse		150			
22	Reading		230		11	
22B	Reading		230		11	
	Mech		216			
	Teachers Room		450			
	Custodian		110			
	Girls	Lavatory	325			
	Boys	Lavatory	330			
	Storage		115			
	Storage		145			
	Toilet		245			
	Principal	Office	270			
	Secretary	Office	125			
	Main Office	Office	135			1,500
	Gym	Gym	2,600		173	6,300
	Kitchen		465			1,600
	Storage		200			
	Nurse		890			510
	Storage		160			
	Office	Office	90			
	Storage		155			
	Psych	Office	305			
	Office	Office	75			
2nd Floor						
16	Social Worker	Office	265			1,500
17	Library	Classroom	840		22	2,020
Office	Office	90				
Storage		155				
Psych	Office	305				
Office	Office	75				
Basement						
18	Music	Classroom	555		27	1,350
18	Art	Classroom	555		27	1,150
Nurse		890			510	

CAPACITY ANALYSIS						
NORTH PROVIDENCE PUBLIC SCHOOLS						
STEPHEN OLNEY SCHOOL				PRE K-5 GRADE		
ROOM NUMBER	USE		SIZE SQ.FT.	ROOM CAPACITY TEACHER CONTRACT	CODE CAPACITY	SIZE PER RIDE
	CURRENT USE	ROOM				
STORAGE		160				
		SUBTOTAL	20,186	300		
	TOTAL BUILDING SQ.FT.		24760			
	CURRENT ENROLLMENT:		287			
	TOTAL CAPACITY:		300	X 95% = 285		
	95% UTILIZATION		285			
	SQ. FT. PER STUDENT:		86	(AT CAPACITY)		
			86	(AT CURRENT ENROLLMENT)		

Stephen Olney Elementary School



SITE



BOYS (2)



BOYS (3)



BOYS (4)



BOYS (5)



BOYS



CORRIDOR (2)



CORRIDOR



CUBBIES



DOOR



DRINKING F.



ENTRANCE



GIRLS (2)



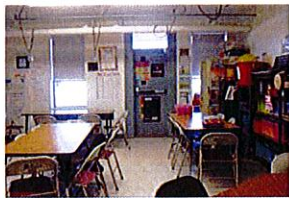
GIRLS (3)



GIRLS



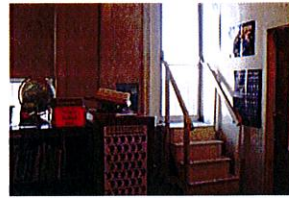
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IMG_5795



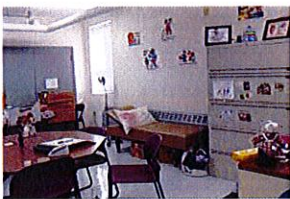
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LOWER LEVEL



NOT ADA



NURSE



OLNEY



ORIGINAL BUILDING



RAMP



RESTROOM (2)



RESTROOM (3)



RESTROOM



ROOF (2)



ROOF (3)



ROOF (4)



ROOF (5)



ROOF (6)



ROOF (7)



ROOF (8)



ROOF (9)

Stephen Olney Elementary School



ROOF (10)



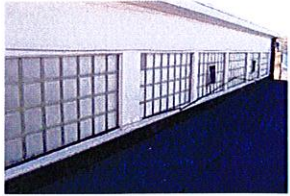
ROOF (11)



ROOF (12)



ROOF SHINGLES



ROOF



SINK



SITE (2)



SITE (3)

ARCHITECTURAL FEASIBILITY STUDY

STEPHEN OLNEY ELEMENTARY SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
- 3 - ACTION REQUIRED 4-5 YEARS
- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

GENERAL INFORMATION

NAME OF SCHOOL: STEPHEN OLNEY ELEMENTARY SCHOOL

PRINCIPAL: ARTHUR A. CORSINI

ADDRESS: 1378 DOUGLAS AVENUE, NORTH PROVIDENCE, RI 02904

OWNER: NORTH PROVIDENCE SCHOOL DEPARTMENT

GRADE LEVELS: K THROUGH 5

STUDENT POPULATION: 287

STUDENT CAPACITY: 285

YEAR CONSTRUCTED: 1952

ADDITIONS: 1950, 1960

CONSTRUCTION DATA:

STATE BUILDING CODE / CONSTRUCTION TYPE	
ORIGINAL BUILDING:	IIIB
FIRST ADDITION:	IIB
SECOND ADDITION:	IIB
OCCUPANCY GROUP:	PE
SUB - BASEMENT:	IIIB
BASEMENT:	N/A
GRADE LEVEL:	III B IIB
SECOND FLOOR:	III B
THIRD FLOOR:	III B

NUMBER OF STORIES	
ORIGINAL BUILDING:	3
FIRST ADDITION:	1
SECOND ADDITION:	1

ARCHITECTURAL FEASIBILITY STUDY**STEPHEN OLNEY ELEMENTARY SCHOOL****CONDITIONS, KEY CRITERIA:**

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
- 3 - ACTION REQUIRED 4-5 YEARS
- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

INTERIOR FINISHES

	FLOOR FINISH	CONDITIONS	WALL FINISH	CONDITIONS	CEILING FINISH	CONDITIONS
TYPICAL CLASSROOMS	VCT/ACT	2	CMU GYP	2	SAT GYP	2
GYM	VCT	2	CMU	2	SAT	2
GYM LOCKER ROOMS	N/A					
LOCKER ROOMS	N/A					
AUDITORIUM	N/A					
CAFETERIA	SAME AS GYM					
LIBRARY	VCT/ACT	2	GYP	2	SAT	2
OFFICES	VCT/ACT	2	CMU GYP	2	SAT	2
TEACHER LOUNGE	VCT/ACT	2	CMU GYP	2	SAT	2
TOILETS	CT	2	CMU CT	2	SAT	2
CORRIDORS	VCT/ACT	2	CMU GYP	2	SAT	2
LOBBIES	VCT/ACT	2	CMU GYP	2	SAT	2
VESTIBULE	NO					
STAIRS	VINYL	3	CMU WD	2	SAT GYP	2
KITCHEN	SAME AS GYM					
MECHANICAL/SERVICE	CONC		CMU			

INTERIOR ELEMENTS

	MATERIAL	CONDITIONS	REMARKS
INTERIOR DOORS	WD/MTL	2	NEW FIRE DOORS
HARDWARE	MTL	2	NEW ON FIRE DOORS
LOCKERS	N/A		
CUBBIES	OPEN	2	
COUNTER/CABINETS	WD PL	3	
TEACHERS WARDROBE	WD PL	3	

ABBREVIATIONS

SAT	SUSPENDED ACOUSTICAL TILE	CONC	CONCRETE
VCT	VINYL COMPOSITE TILE	CMU	CONCRETE MASONRY UNIT
ACT	ASBESTOS COMPOSITE TILE	GYP BD	GYPSUM BOARD
CT	CERAMIC TILE	PTD	PAINTED
PL	PLASTIC LAMINATE	BIT	BITUMINOUS PAVING
WD	WOOD	ALUM	ALUMINUM
MTL	METAL	N/A	NOT APPLICABLE
		RT	RUBBER TILE

ARCHITECTURAL FEASIBILITY STUDY

STEPHEN OLNEY ELEMENTARY SCHOOL

CONDITIONS, KEY CRITERIA:

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PROVISIONS FOR ACCESSIBILITY

EXTERIOR ACCESSIBLE ROUTE	
ACCESSIBLE ROUTE:	

	COMPLIANCE	REMARKS
PRIMARY ENTRANCE:	NO	NO LEVEL LANDING
EXTERIOR/ EGRESS DOORS:	NO	STAIRS LEAD TO THEM
SIGNAGE:	NO	

INTERIOR ACCESSIBLE ROUTE	COMPLIANCE	REMARKS
ACCESSIBLE ROUTE:	NO	STAIRS
ENTRANCE VESTIBULES:	YES	
SIGNAGE:	NO	
OFFICES:	NO	NO TURNING RADIUS
LIBRARY:	NO	ON 2 ND FLOOR
AUDITORIUM	N/A	
CAFETERIA:	YES	
CROSS- CORRIDOR:	NO	STAIRS
STAIRS:	NO	
HARDWARE:	NO	YES ON NEW DOORS
ADMINISTRATION:	NO	NO ADA COUNTER
GYMNASIUM:	YES	
LOCKER ROOM:	N/A	
CLASSROOM DOORS:	NO	SEE NOTE
DRINKING FOUNTAINS	NO	
CLASSROOM SINKS:	NO	

CONDITIONS				
VERTICAL ACCESS:	NO			
(ELEVATORS / LIFTS)				

	FLOOR SURFACE	HANDRAIL / GUARD HEIGHTS	CONDITIONS
STAIRWAYS:	NO		
RAMPS:			

ARCHITECTURAL FEASIBILITY STUDY

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PROVISIONS FOR ACCESSIBILITY CONT.**CLINIC:**

REQUIRED CLINIC AREAS/ ASSEMBLIES	COMPLIANCE	CONDITIONS	REMARKS
WAITING AREA:	YES		
PRIVATE MEETING AREA:	YES		
EXAMINATION AREA:	YES		
REST ROOM:	YES		

KITCHEN:

REQUIRED KITCHEN AREAS/ ASSEMBLIES	COMPLIANCE	CONDITIONS	REMARKS
WASHABLE SURFACES:	NO		
HAND SINK:	NO		
REST ROOM:	NO		

CLASSROOM EGRESS:

	COMPLIANCE	CONDITIONS	REMARKS
EMERGENCY RESCUE WINDOW:	NO		
DOORS BETWEEN CLASSROOMS:	NO		

ARCHITECTURAL FEASIBILITY STUDY

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SITE DATA:

	DESCRIPTION
LOT AREA:	
LAND USED:	PARENT DROP OFF AND BUSES NOT ON SITE

	MATERIALS	CONDITIONS	REMARKS
PARKING LOT:	BIT	3	
SIGNAGE:	WD/ALUM	3	
BUS DROP OFF:	BIT	2	
BUS PICK UP:	BIT	2	
PARENT DROP:	BIT	2	
PARENT PICK UP:	BIT	2	
LOADING/SERVICE AREA:	BIT	3	
TRASH AREA:	BIT	3	

SITE ACCESSIBILITY DATA:

	COMPLIANCE	REMARKS
PARKING:	YES	
CURB CUTS:	YES	
RAMPS:		
WALKWAYS:	NO	

ARCHITECTURAL FEASIBILITY STUDY

STEPHEN OLNEY ELEMENTARY SCHOOL

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BUILDING SYSTEMS AND ASSEMBLIES OF ORIGINAL BUILDINGS CON'**EXTERIOR**

EXTERIOR ENVELOPE	MATERIAL	CONDITIONS	REMARKS
WALL ASSEMBLY:	BRICK		SEE STRUCTURAL REPORT
ORIGINAL BUILDING:	BRICK		REPORT
ADDITION:	BRICK		
ROOF ASSEMBLY:		2	
ORIGINAL BUILDING:		2	
ADDITION:		2	
WINDOWS:	ALUM	3	
ORIGINAL BUILDING:		3	
ADDITION:		3	
EXTERIOR DOORS:	ALUM	5	
ORIGINAL BUILDING:	MTL	5	
ADDITION:		5	

ARCHITECTURAL FEASIBILITY STUDY

STEPHEN OLNEY ELEMENTARY SCHOOL

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SECURITY

	PROVIDED	NOT PROVIDED	REMARKS
SCHOOL SIGN:		X	
MAIN ENTRANCE IDENTIFICATION:		X	
EXTERIOR DOOR IDENTIFICATION:		X	
PASSIVE SECURITY:		X	
ACTIVE SECURITY:	X		
EXTERIOR CAMERAS:	X		
INTERIOR CAMERAS:		X	
DOOR FOB:	X		
SENSORS:	X		
CLASS ROOM LOCKDOWN:	X		
CLASS ROOM CONNECTING DOOR:		X	

ARCHITECTURAL FEASIBILITY STUDY

STEPHEN OLNEY ELEMENTARY SCHOOL

**ACCESSIBLE
RESTROOMS**

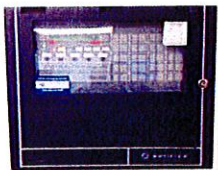
	COMPLIANCE	CONDITIONS	REMARKS
UNISEX 1			
TOILET	NO		
SINK	NO		
ACCESSORIES	NO		
GRAB BARS	NO		
TURNING RADIUS	YES		
NURSES 2			
TOILET	NO		
SINK	NO		
ACCESSORIES	NO		
GRAB BARS	NO		
TURNING RADIUS	YES		
BOYS 3			
TOILET	NO		
SINK	NO		
ACCESSORIES	NO		
GRAB BARS	NO		
TURNING RADIUS	YES		
GIRLS 4			
TOILET	NO		
SINK	NO		
ACCESSORIES	NO		
GRAB BARS	NO		
TURNING RADIUS	YES		

STEPHEN OLNEY ELEMENTARY SCHOOL

NOTES:

- CLASSROOM 1,2,3,4,5,6,7,8,9,10,11,12,13,14,15 AND 16 DO NOT HAVE ADA DOOR PULL CLEARANCE.
- MUSIC ART, NURSE, LIBRARY, PSYCHOLOGY'S OFFICES ARE ACCESSIBLE THOUGH STAIRS AND SHOULD NOT BE USED BY K 1 2 GRADES.
- POOR LOCATION OF SCHOOL FRONT DOOR. (IT IS IN THE "BACK" OF SCHOOL)
- NOT ALL CLASSROOM HAVE SINKS.
- PARKING IS VERY INSUFFICIENT.
- VERY DIFFICULT PARENT DROP OFF AND BUSES CIRCULATION.
- THE MODIFIED BITUMEN WITH GRANULAR SURFACE ROOF IS PAST ITS USEFUL PERFORMANCE LIFE.
- THERE IS ROOF PONDING, SEAMS HAVE FAILED.
- THERE IS EVIDENCE OF SATURATED INSULATION AND FAILED FLASHING, NON FUNCTIONING ROOF DRAINS.
- FIRE CODE: SEE ATTACHMENT FOR FIRE CODE VIOLATIONS OF EXISTING, EGRESS LIGHTING, DOOR HARDWARE, FIRE ALARM, SPRINKLER SYSTEM, SMOKE DETECTOR, WINDOW SHADES AND DOOR PLEXIGLASS.
- WINDOWS FOR RESCUE ASSISTANCE ARE NOT PROVIDED.

Stephen Olney Elementary Elementary School - MEP



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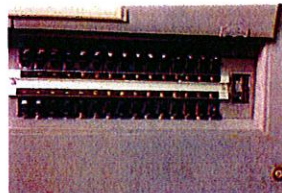
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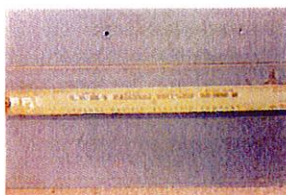
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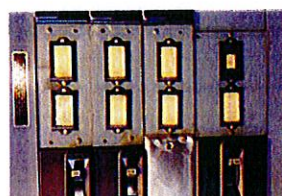
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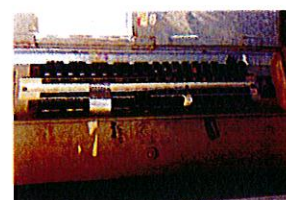
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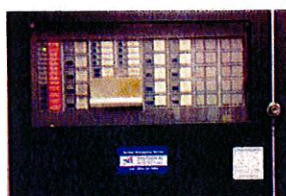
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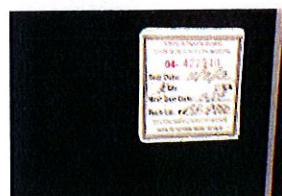
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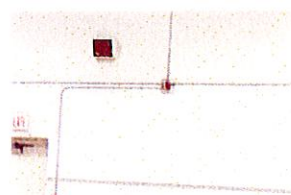
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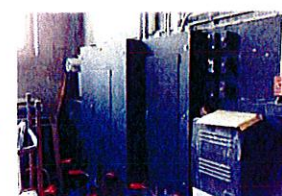
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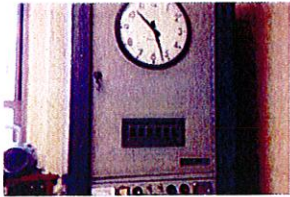


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Stephen Olney Elementary Elementary School - MEP



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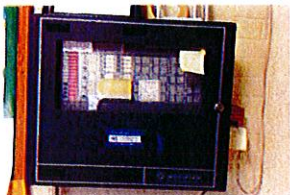
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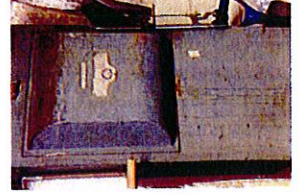
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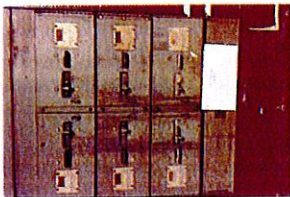
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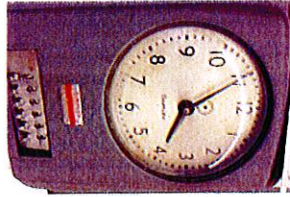
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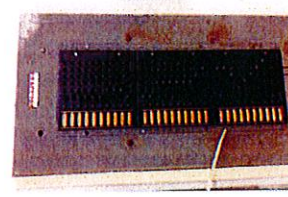
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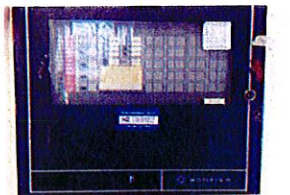
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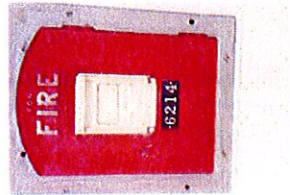
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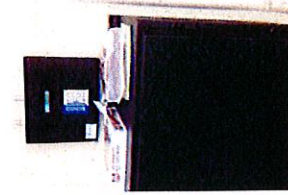
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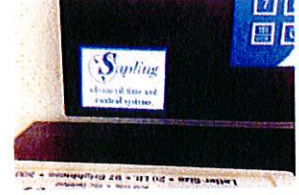
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ARCHITECTURAL FEASIBILITY STUDY

STEPHEN OLNEY ELEMENTARY SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
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ELECTRICAL

THE POWER, SIGNAL, LIGHTING, FIRE ALARM AND LIFE SAFETY SYSTEMS AND DEVICES IN THIS SCHOOL
APPEAR TO HAVE REACHED THEIR USEFUL LIFE.

OBSERVATIONS:

A NEW ADDRESSABLE FIRE ALARM SYSTEM IS SCHEDULED TO BE INSTALLED
IN THE NEAR FUTURE.

RECOMMENDATIONS:

ANY IMPROVMENTS TO THIS SCHOOL WILL REQUIRE COMPLETE SYSTEM UPGRADES.

	RATING	VOLTAGE	METERING	DATE OF INSTALLATION	CONDITIONS
SERVICE:	200A	120/240	1 PH, 3W	1953	POOR

	TYPE	LOCATION	CONDITIONS
TRANSFORMER:	50KVA	120/240	POLE MTD 1953 FAIR

AERAIL SERVICE

	RATING	ENERGY SOURCE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
EMERGENCY GENERATOR:	NONE				

	TYPE	DATE OF INSTALLATION	CONDITIONS
DISTRIBUTION SYSTEM:	CONDUCTORS I	1953	FAIR

IN COUIT

	GROUND /	NON GROUND	DATE OF INSTALLATION	CONDITIONS
DEVICES:				
TYPICAL CLASSROOMS:	X		1953	FAIR
OFFICES:	X		1953	FAIR
GYM / CAFETERIA:	X		1953	FAIR
LOBBY / CORRIDOR:	X		1953	FAIR
TOILETS:	X		1953	FAIR

ARCHITECTURAL FEASIBILITY STUDY

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ELECTRICAL CONT.

LIGHTING	LAMP TYPE	MOUNTING	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	FLUORESCENT	SURFACE/SUSP	10+ YEARS	FAIR
OFFICES:	FLUORESCENT	SURFACE	10+ YEARS	FAIR
LIBRARY:	FLUORESCENT	SURFACE	10+ YEARS	FAIR
GYM / CAFETERIA:	TSHD	SUSPENDED	2005	GOOD
LOBBY / CORRIDOR:	FLUORESCENT	RECESSED	10+ YEARS	FAIR
TOILETS:	FLUORESCENT	SURFACE	10+ YEARS	FAIR
LIGHTING CONTROLS:	SWITCHING/SENSORS		10+ YEARS	FAIR
THEATER LIGHTING SYSTEM::	N/A			

SITE LIGHTING:	LAMP TYPE:	MOUNTING	DATE OF INSTALLATION	CONDITIONS
SPORTS FIELDS:	N/A			
PARKING:	METAL HALIDE	BUILDING MTD	1953	POOR
WALKWAYS:	METAL HALIDE	BUILDING MTD	1953	POOR
BUILDING ENTRANCES:	HIGH PRES/ SOD	CANOPY	1953	POOR

SECURITY SYSTEM:	TYPE:	MANUFACTURER:	DATE OF INSTALLATION	CONDITIONS
CCTV:	N/A			
DOOR ACCESS CONTROLS:	KEY FOB	ADP	1960	FAIR
DETECTION DEVICES:	MOTION	ADP	1960	FAIR

COMMUNICATIONS SYSTEM:	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
MASTER CLOCK / PROGRAM:	YES	UNKNOWN	1953	POOR
TYPICAL CLASSROOMS:	P/A	UNKNOWN	1953	POOR
OFFICES:	P/A	UNKNOWN	1953	POOR
PUBLIC AREAS:	P/A	UNKNOWN	1953	POOR

ARCHITECTURAL FEASIBILITY STUDY

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TELE/ DATA VIDEO SYSTEM	TYPE	MANUFACTURER	CCTV	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	HARDWIRE	UNKOWN	NO	1953	FAIR
OFFICES:	HARWIRE	UNKOWN	NO	1953	FAIR
LIBRARY:	HARDWIRE	UNKOWN	NO	1953	FAIR
GYM/ CAFETERIA:	NONE				

LOCAL SOUND SYSTEMS	TYPE	MANUFACTURER	CONTROLS	DATE OF INSTALLATION	CONDITIONS
GYM/ CAFETERIA	PA SYSTEM	UNKNOWN		1953	POOR

	TYPE:	MANUFACTURER:	CONTROLS	DATE OF INSTALLATION	CONDITIONS
EMERGENCY LIGHTING:	LIGHTED	UNKOWN	BATTERY B/U	1953	POOR
EXIT LIGHTING:	NONE				

	TYPE:	MANUFACTURER:	NOTIFICATIONS	DATE OF INSTALLATION	CONDITIONS
FIRE ALARM SYSTEM:	CONVENTIONAL	NOTIFIER	AUDIO/VISAUL	1953	POOR

FIRE ALARM DEVICES	DETECTOR TYPE	ALARM SYGNAL TYPE	PULL STATION	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	HEAT DETECTION	NONE		1961	POOR
OFFICES:	HEAT DETECTION	NONE		1961	POOR
LIBRARY:	HEAT DETECTION	NONE		1961	POOR
AUDITORIUM / STAGE:	N/A			1961	POOR
GYM/ CAFETERIA:	HEAT DETECTION	NONE	YES	1961	POOR
LOBBY / CORRIDOR:	SMOKE	AUDIO/VISUAL	YES	1961	POOR
KITCHEN:	N/A				
STORAGE / SERVICE:	HEAT DETECTION	NONE		1961	POOR
TOILETS:	HEAT DETECTION	NONE		1961	POOR

NOTES:

CLASSROOMS DO NOT HAVE FIRE ALARM STROBE DEVICES OR EMERGENCY LIGHTING.

ARCHITECTURAL FEASIBILITY STUDY**SECTION 15500**

STEPHEN OLNEY ELEMENTARY SCHOOL

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HEATING & VENTILATION - OLNEY ELEMENTARY

CENTRALIZED SYSTEMS	ENERGY SOURCE	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
HEATING EQUIPMENT #1:	NAT GAS	BOILER - HW	WEIL McLAIN	1995	4 GOOD
HEATING EQUIPMENT #2:	NAT GAS	BOILER - HW	WEIL McLAIN	2008	5 GOOD
HEATING EQUIPMENT #3:	NAT GAS	BOILER - STM	WEIL McLAIN	1960?	1 POOR
COOLING EQUIPMENT #1:	N/A	-	-	-	
EXHAUST EQUIPMENT #1:	ELECT.	ROOF FAN	-	ORIBINAL	2 POOR

DISTRUBUTION SYSTEMS	SIZE	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
HEATING DISTRUBUTION EQUIPMENT:	PUMPS (2 PER BOILER) 1/2HP	INLINE	B&G	1970s	2 POOR
COOLING DISTRUBUTION EQUIPMENT:	N/A	-	-	-	
AIR DISTRIBUTION EQUIPMENT:	N/A	-	-	-	

TERMINAL EQUIPMENT	TYPE	MANUFACTURER	CONTROLS	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS (1930):	STEAM RAD.	-	NONE	ORIGINAL	2 POOR
TYPICAL CLASSROOMS (1960):	CUH	-	ELECTRONIC	ORIGINAL	3 FAIR
OFFICES:	CONVECTORS	-	ELECTRONIC	ORIGINAL	3 FAIR
LIBRARY:	RADIATORS	-	NONE	ORIGINAL	2 POOR
CAF/GYMNASIUM:	BB	-	ELECTRONIC	ORIGINAL	3 FAIR

NOTES:

- 1) THERE ARE THREE BOILERS, ONE STEAM AND ONE HW FOR THE OLDER BUILDING AND ONE HW FOR THE NEWER BUILDING. HW BOILERS ARE 1995 WEIL McLAIN 878 (1007MBH OUT) AND 2008 BOILER IS 978 (1007MBH OUT). STEAM BOILER IS AN OLD BRYANT BOILER THAT LOOKS 40-50 YEARS OLD. GAS FIRED (480 MBH OUT).
- 2) NO CENTRAL COOLING. WINDOW A/C IN SELECT AREAS.
- 3) CLASSROOMS HAVE CABINET UNIT HEATERS, BB. OR RADIATORS. NO VENTILATION OR EXHAUST.
- 4) BB AND CONVECTORS IN HALLWAYS, OFFICES, BATHROOMS, ETC.
- 5) GYM HAS HOT WATER BB AND DEDICATED WALL EXHAUST FANS.
- 6) STEAM SYSTEM IS SINGLE PIPE LOW PRESSURE STEAM. NO CONDENSATE PUMP OR PIPING.

ARCHITECTURAL FEASIBILITY STUDY

STEPHEN OLNEY ELEMENTARY SCHOOL

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PLUMBING SYSTEM

SERVICE	PIPE SIZE	METER SIZE	PRESSURE REGULATOR	OPER PRESSURE	PIPE MATERIAL	SOURCE	AGE	MISCELLANEOUS
WATER:	2"	2" PARRALLEL	N/A	CITY	COPPER	MUNICIPAL	N/A	NO BPF/2 METERS
GAS: 1	4"	4" (INSIDE)	N/A	4-7" W.C.	STEEL	UTILITY	ORIGINAL	3000 CFH
GAS: 2	2"	2"	Y	4-7" W.C.	STEEL	UTILITY	2007	3000 CFH

SYSTEM	PIPE MATERIAL/CONDITION	TYPE INSULATION/ CONDITION	MISCELLANEOUS
DOMESTIC COLD WATER:	COPPER/FAIR	FIBERGLASS	INFRASTRUCTURE IS ORIGINAL
DOMESTIC HOT WATER:	COPPER/FAIR	FIBERGLASS	INFRASTRUCTURE IS ORIGINAL
SANITARY WASTE & VENT:	CAST IRON/FAIR		INFRASTRUCTURE IS ORIGINAL
STORM DRAINAGE:	CAST IRON/FAIR		INFRASTRUCTURE IS ORIGINAL
GAS:	STEEL/GOOD		
NON-POTABLE (LAB) CW:	N/A		
NON-POTABLE (LAB) HW:	N/A		
ACID (LAB) WASTE & VENT:	N/A		
KITCHEN WASTE:	N/A		
TEMPERED WATER:	N/A		

EQUIPMENT	TYPE/FUEL	AGE	CONDITION	MISCELLANEOUS
DOMESTIC WATER HEATER: 1	ATMOSPHERIC/GAS	2008	5	A.O. SMITH GCVL 40 300
DOMESTIC WATER HEATER: 2	ATMOSPHERIC/GAS	2009	5	A.O. SMITH GCVL 40 300
SANITARY EJECTOR PUMP:	N/A			
STORM EJECTOR PUMP:	N/A			
DOMESTIC WATER BOOSTER PUMP:	N/A			
INTERIOR KITCHEN GREASE TOP:	N/A			

ARCHITECTURAL FEASIBILITY STUDY

STEPHEN OLNEY ELEMENTARY SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
- 3 - ACTION REQUIRED 4-5 YEARS
- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

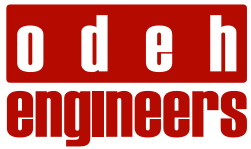
PLUMBING SYSTEM CONT.

PLUMBING FIXTURES	TYPE/ INSTALLATION	LOW CONSUMPTION/ METERING	ACCESSIBLE	CONDITION	MISCELLANEOUS
WATER CLOSET:	FLUSH VALVE	NO		2	POOR CONDITION
URINAL:	FLUSH VALVE	NO		2	POOR CONDITION
LAVATORY:	WALL HUNG RECESSED	NO		2	POOR CONDITION
DRINKING FOUNTAIN/WATER COOLER:	BUBBLER	NO		2	POOR CONDITION
CLASSROOM SINK:	SELF RIMMING	NO		3	
CLASSROOM BUBBLER / DRINKING FOUNTAIN:	N/A				
MOP SINK:	JANITOR SINK			2	
SHOWERS:	N/A				

MISCELLANEOUS FIXTURES	MISCELLANEOUS
HOSE BIBB:	
WALL HYDRANT:	2
FLOOR DRAIN:	
EMERGENCY SHOWER / EYEWASH:	N/A
EMERGENCY EYEWASH:	N/A
LAB FAUCETS:	N/A
LAB GAS COCKS:	N/A

NOTES:

IN GENERAL THE PLUMBING FIXTURES ARE IN FAIR TO POOR CONDITION AND IN NEED OF REPLACEMENT. THE WASTE AND WATER PIPING INFRASTRUCTURE IS ORIGINAL TO THE BUILDING. WE WOULD EXPECT CONTINUED MAINTENANCE/REPAIR AS THE SYSTEMS CONTINUE TO AGE. THE WATER HEATERS ARE RELATIVELY NEW AND APPEAR IN GOOD WORKING CONDITION.



1223 Mineral Spring Avenue
North Providence, Rhode Island 02904

January 2, 2014

Mr. Luis Torrado
L.A. Torrado Architects
35 Greenwich Street
Providence, Rhode Island 02907

RE: Stephen Olney Elementary School Facilities Assessment - Structural

Transmitted via email (la.torrado@verizon.net)

Dear Luis:

Per your request, this office has conducted an inspection and assessment of the structural elements of the Stephen Olney Elementary School buildings. The following is a summary of the investigation and recommendations.

Standard of Care and Use of Report

Please note that the results of this investigation are limited to visual observations of the accessible areas of the building only. While we have made our best efforts to investigate the building structure, many conditions were concealed by architectural finishes or were otherwise inaccessible, and therefore additional damage or other unforeseen conditions not included in this report may be present. The findings of this report therefore represent our best professional opinion based on the information available to us at this time. This report is for use by L.A. Torrado Architects and the North Providence School Department to assess the existing structural condition of the Stephen Olney Elementary School buildings.

Actions Taken

Odeh Engineers, Inc. undertook the following actions to complete this structural assessment:

- On Wednesday, December 4, 2013, Odeh Engineers' Field Engineer, Paul Wilkinson, inspected and assessed the Stephen Olney Elementary School buildings. Where encountered, the Field Engineer documented and photographed existing deficiencies in the structural elements of the building, or potential problem areas that could lead to structural deficiencies.
- Subsequent to the site visit, the Field Engineer reviewed his observations, findings and photographs with Principal Engineer, M. David Odeh, P.E.
- Odeh Engineers has prepared this written summary of findings and recommendations.

Phone: 401.724.1771

Fax: 401.724.1981

Documents Reviewed

There were no structural drawings for the Stephen Olney Elementary School buildings made available to Odeh Engineers at the time of authoring this structural assessment report.

Key Plan

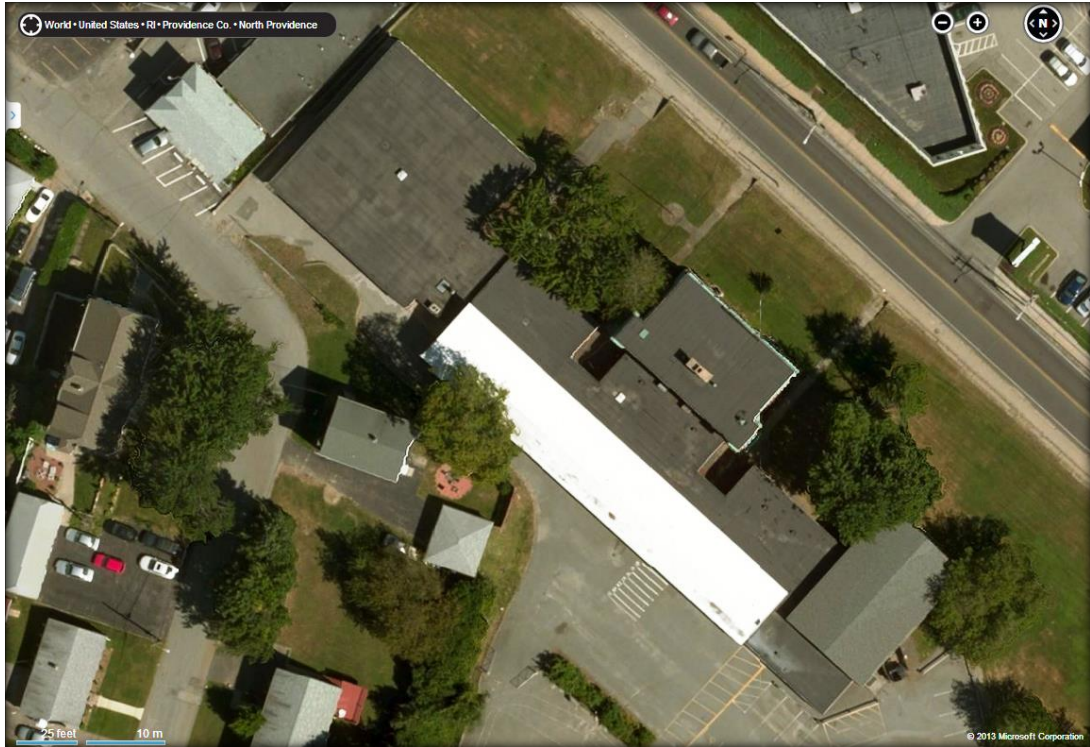


FIGURE 1 – *This photograph is an aerial image of the Stephen Olney Elementary School buildings. Note that north is vertically up in this image.*

Summary of Existing Conditions

The Stephen Olney Elementary School buildings appeared to be in good structural condition with the exception of the following structural deficiencies and/or potential problem areas:

1. There is widespread ponding of water on the low flat roof of the northwest wing of the Stephen Olney Elementary School buildings. (Please refer to the Photos #1 to #3 below.) **Comments and Recommendations:** *Although there was no visual evidence of structural distress, ponding of water on the roof of a building can cause the roof structure to sag due to the weight of the water. As the roof sags, more water can become entrapped in the low spot of the roof, causing additional sagging. The roof structure should be adequately pitched, or tapered insulation below the roof membrane must be installed, to allow the water to flow to the roof drains.*



PHOTO #1 – *This photograph shows one of the areas where the water is ponding on the flat roof of the northwest wing of the Stephen Olney Elementary School building.*



PHOTO #2 – *This photograph shows more ponding of water on the northwest wing flat roof.*



PHOTO #3 – *This photograph shows another location where water is ponding on the roof of the northwest wing of the school building.*

2. The gutters on the sloped roof of the Stephen Olney Elementary School Gymnasium/Cafeteria building are clogged with debris. (Please refer to the Photos #4 and #5 below.) **Comments and Recommendations:** *The roof gutters must be cleaned of debris on a regular basis to protect the roofing system and building.*



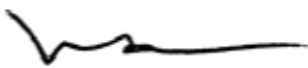
PHOTO #4 – *This photograph shows the leaves, branches and debris clogging the gutter on the sloped roof of the Stephen Olney Elementary School Gymnasium/Cafeteria building.*



PHOTO #5 – *This photograph shows the leaves clogging the gutter on the sloped roof of the Stephen Olney Elementary School Gymnasium/Cafeteria building*

We trust that this report meets your needs at this time. Should you wish to proceed with a more detailed study or design, Odeh Engineers would be pleased to provide these additional services for the project. In the meantime, please do not hesitate to contact this office if you have any questions or require additional information.

Sincerely,



M. David Odeh, P.E.
Principal



Paul Wilkinson
Field Engineer

Rhode Island Division of State Fire Marshal's
Inspection Report

Page: 4
09/17/2013

Inspection #: 13-1296-IS
Inspection Type: Existing Educational Occupancies

Reference Number: 13-1296-IS
Description: NARRATIVE FOR SENIOR FIRE INSPECTOR CYNTHIA H DEHLER
Entered: 0130-Dehler, Cynthia 09/16/2013 1513
Modified: 0130-Dehler, Cynthia 09/16/2013 1513

Town of North Providence
Charles Lombardi Mayor
2000 Smith Street
North Providence, RI 02911

Dear Charles Lombardi:

Enclosed is a list of deficiencies found during our 09/09/2013 inspection of your property located at 1378 DOUGLAS AVE, NORTH PROVIDENCE.

Under the authority granted by section 23-28.2-20.1 of the Rhode Island State Fire Safety Code, you are hereby notified that the violations cited shall be corrected within 30 days from receipt of this letter or prior to occupancy of this facility if a certificate of occupancy has not been issued.

If you feel that there will be practical difficulties in correcting the violations or if for any reason you wish to have a hearing on the violation(s), you may apply in writing to the State Fire Safety Code Board of Appeal and Review for a variation or to have your concerns addressed. Applications for variations are done on a separate form available from this office. Requests for a variation or a formal hearing before the State Fire Safety Code Board of Appeal and Review must be submitted within 30 days of receipt of this notice. Failure to apply within the 30 day period will cause this notice to become a compliance order and will subject you to prosecution under the Rhode Island State Fire Safety Code should you fail to correct all of the violations noted in the enclosed report.

Please contact Senior Fire Inspector Cynthia H Dehler at 401-462-4206 and refer to Inspection # 13-1296-IS should you need additional assistance on this matter.

Any violation, deficiency or requirement, which may have been overlooked in the course of this inspection, is also subject to correction under the provisions of any applicable code.

Sincerely,



Senior Fire Inspector Cynthia H Dehler, DSFM, CFI

RHODE ISLAND DEPARTMENT OF PUBLIC SAFETY

State Fire Marshal

118 Parade Street, Providence RI 02909

Telephone: (401) 462-4200 — Fax: (401) 462-425

Colonel Steven G. O'Donnell
Commissioner, Department of Public Safety
Superintendent, Rhode Island State Police

John E. Chartier, EFO
State Fire Marshal
Division of the State Fire Marshal

1378 DOUGLAS AVE
NORTH PROVIDENCE, RI 02908
09/12/2013
Site # 407-96

Building Description

This facility has been inspected under the Rhode Island Life Safety Code -2012 Edition - Chapter 15 - Exiting Educational Occupancies and NFPA 101 2012 Edition and all other referenced standards.

This facility was constructed in 1953. This is a two (2) story facility of approximately 28,831 square feet with the lowest story of the oldest portion of the building partially below grade. The upper level is also at grade level. The construction type of this facility appears to be Type II (III). The roof is flat and appears to be rubber over insulation supported by heavy timber wood joists.

This elementary school consists of a gymnasium that doubles as a cafeteria, the main office, secretary's office, principal's office, a boy's & girl's bathroom, a teacher's room, a nurse's office, fourteen (14) classrooms, and a mechanical room. The 2nd level has a library, 2 offices off of the stairwells, a psych. office and a classroom.

There is a main entrance with a set of double doors to enter this facility. Classrooms, #7, 8, 9, 10, 11 & 12 all have doors that lead directly to the outside of this facility. Classrooms #1 & 2 have intervening doors that lead to classroom #3, which has a door directly to the outside. Classrooms #5 & 6 also have intervening doors that lead to classroom #4, which has a door directly to the outside. There is also two sets of double exit doors off of the hallway that leads to classrooms #4, 5, & 6. There are also a set of double doors off of the gym/cafeteria that lead to the hallway and a set of double doors leading directly to the outside. There is a fire escape that leads from the 2nd floor library. This fire escape has a full door that leads to it.

This facility maintains a full fire alarm system with municipal forces notification via box #6213. There is a fire drill switch that is located in the Principal's office. Illuminated exit signs and emergency lights are also located throughout. The old section of this facility maintains a sprinkler system. Portable fire extinguishers are placed throughout this facility. There is a key access box located at the main entrance of this facility. This facility is heated with gas-fired forced hot water boilers.

The fire alarm system of this facility was last tested on August 8, 2013. BF9980. The sprinkler system was tagged August 8, 2013. The portable fire extinguishers are tagged July of 2013. The last fire drill was performed on September 9, 2013.



Rhode Island Division of State Fire Marshal's
Inspection Report

Page: 1
09/17/2013

Inspection #: 13-1296-IS
Inspection Type: Existing Educational Occupancies

Entered: 09/09/2013
Status: Completed
Completed: 09/09/2013
Disposition: Noncompliant
Paid: No
Check: MUNICIPAL

By: Senior Fire Inspector Cynthia H Dehler

By: Senior Fire Inspector Cynthia H Dehler

Location

STEPHEN ONLEY ELEMENTARY SCHOOL
1378 DOUGLAS AVE
NORTH PROVIDENCE RI 02908

Owner

Name: Town of North Providence
First Name: Charles
Last Name: Lombardi
Title: Mayor
Street: 2000 Smith Street
City/Town: North Providence
State: RI
Zip Code: 02911

Occupant

Name: North Providence School Department (Stephen Olney Elementary School)
First Name: Arthur
Last Name: Corsini
Title: Principal
Street: 1378 Douglas Avenue
City/Town: North Providence
State: RI
Zip Code: 02904

Inspection #: 13-1296-IS
Inspection Type: Existing Educational Occupancies

Violations

<u>Violation #</u>	<u>Discovered</u>	<u>Resolved</u>	<u>Description</u>
13-1150-VN		N	The old section stairwells lack smoke detection at each landing. Board Decision #100136 grants a time variance prior to the commencement of the 2014-2015 academic year in September of 2014, to correct this deficiency.
13-1151-VN		N	At time of inspection, the Double exit doors new section near classroom #3 required excessive force to open.
13-1152-VN		N	At time of inspection, the cited areas lacked fire alarm coverage: Unisex bathroom - used as a storage room Janitor's closet has pipe chase Boy's & Girl's bathrooms Board Decision #100136 grants a time variance prior to the commencement of the 2014-2015 academic year in September of 2014, to correct this deficiency.
13-1153-VN		N	At time of inspection, the horn/strobe units were not three pulse temporal, as required. Board Decision #100136 grants a time variance prior to the commencement of the 2014-2015 academic year in September of 2014, to correct this deficiency.
13-1154-VN		N	At time of inspection, the fire department connection (FDC) caps were missing.
13-1155-VN		N	At time of inspection, a book shelf was impeding the egress from the Speech Pathologist's room.
13-1156-VN		N	At time of inspection, Classroom #2 had a slide bolt lock on the intervening door. This lock needs to be removed.
13-1157-VN		N	At time of inspection, Classrooms #1,2,4 & 6 were missing self-closing devices. Board Decision #100136 grants a time variance prior to the commencement of the 2014-2015 academic year in September of 2014, to correct this deficiency.
13-1158-VN		N	At time of inspection, the old section music/art room had outlets hanging from the sprinkler pipes.
13-1159-VN		N	At time of inspection, the electrical/boiler room had storage closer than 3' to electrical panels.

Inspection #: 13-1296-IS
Inspection Type: Existing Educational Occupancies

13-1160-VN	N	At time of inspection, the stairway near the utility room has exits on both sides. The chevrons need to be popped out on the exit sign.
13-1162-VN	N	All classrooms with intervening doors that lead to an exit need to be properly marked.
13-1163-VN	N	At time of inspection, it was unclear as to the interior finish of the carpeting on the columns in the gym/cafeteria area.
13-1164-VN	N	At time of inspection, the void above the drop ceilings is greater than 24" and appeared to lack fire alarm coverage.
13-1166-VN	N	At time of inspection, some of the doors appear not to meet the requirements for a 20 minute fire door equipped with self closing devices.
<p>Board Decision #100136 grants a time variance prior to the commencement of the 2014-2015 academic year in September of 2014, to correct this deficiency.</p>		
13-1167-VN	N	Any corridors that are being used for storage of file cabinets, copy machines cuts the egress width to less than 6'.
13-1149-VN	N	At time of inspection, the emergency lights located at the main entrance and the gym area were not functioning.

Rhode Island Division of State Fire Marshal's
Violation Report

Page: 1
09/17/2013

Violation #: 13-1149-VN

Priority: Correct as outlined in cover letter

Issued/Location

STEPHEN ONLEY ELEMENTARY SCHOOL
1378 DOUGLAS AVE
NORTH PROVIDENCE, RI 02908

Main entrance
gym area

Description

At time of inspection, the emergency lights located at the main entrance and the gym area were not functioning.

Regulations

1 - 4.5.8

Whenever or wherever any device, equipment, system, condition, arrangement, level of protection, or any other feature is required for compliance with the provisions of this Code, such device, equipment, system, condition, arrangement, level of protection, or other feature shall thereafter be continuously maintained, unless the Code exempts such maintenance.

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1296-IS	09/09/2013	Noncompliant	STEPHEN ONLEY ELEMENTARY SCHOOL	Dehler, Cynthia

Violation #: 13-1150-VN

Priority: Correct as outlined in Board Decision

Incident Location

STEPHEN ONLEY ELEMENTARY SCHOOL
1378 DOUGLAS AVE
NORTH PROVIDENCE, RI 02908

stairwells

Description

The stairwells lack smoke detection at each floor landing.

Solution

Board Decision #080366 grants a time variance prior to the commencement of the 2014-2015 academic year in September of 2014, to correct this deficiency.

Regulations

2328 - 9.6.2.11

Where required by Chapters 11 through 43, an automatic fire detection

system for initiation of the signaling system shall be provided in accordance with all of the following:

(add) (1) Smoke detectors installed in accordance with NFPA 72, National Fire

Alarm and Signaling Code, shall be provided in all common corridors, lobbies, top of all stairwells, stairwell landings at each floor level, elevator machine rooms

and machine spaces, and all elevator landings.

Rhode Island Division of State Fire Marshal's
Violation Report

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09/19/2013

Violation #: 13-1150-VN

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1308-IS	09/13/2013	Noncompliant	MCGUIRE ELEMENTARY SCHOOL	Dehler, Cynthia
13-1296-IS	09/09/2013	Noncompliant	STEPHEN OLNEY ELEMENTARY SCHOOL	Dehler, Cynthia

Rhode Island Division of State Fire Marshal's
Violation Report

Page: 1
09/17/2013

Violation #: 13-1150-VN

Priority: Correct as outlined in Board Decision

Issued/Location

STEPHEN ONLEY ELEMENTARY SCHOOL
1378 DOUGLAS AVE
NORTH PROVIDENCE, RI 02908

Old section stairwells

Description

The old section stairwells lack smoke detection at each landing.

Solution

Board Decision #100136 grants a time variance prior to the commencement of the 2014-2015 academic year in September of 2014, to correct this deficiency.

Regulations

2328 - 9.6.2.11

Where required by Chapters 11 through 43, an automatic fire detection

system for initiation of the signaling system shall be provided in accordance with all of the following:

(add) (1) Smoke detectors installed in accordance with NFPA 72, National Fire

Alarm and Signaling Code, shall be provided in all common corridors, lobbies, top of all stairwells, stairwell landings at each floor level, elevator machine rooms and machine spaces, and all elevator landings.

Rhode Island Division of State Fire Marshal's
Violation Report

Page: 2
09/17/2013

Violation #: 13-1150-VN

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1296-IS	09/09/2013	Noncompliant	STEPHEN OLNEY ELEMENTARY SCHOOL	Dehler, Cynthia

Violation #: 13-1151-VN

Priority: Correct as outlined in cover letter

Issued/Location

STEPHEN ONLEY ELEMENTARY SCHOOL
1378 DOUGLAS AVE
NORTH PROVIDENCE, RI 02908

Double exit doors new section near classroom #3

Description

At time of inspection, the Double exit doors new section near classroom #3 required excessive force to open.

Regulations

101 - 7.2.1.4 Swing and Force to Open
Swinging-Type Door Assembly Requirement. Any door assembly in a means of egress shall be of the side-hinged or pivoted-swinging type, and shall be installed to be capable of swinging from any position to the full required width of the opening in which it is installed, unless otherwise specified as follows:
(1) Door assemblies in dwelling units, as provided in Chapter 24, shall be permitted.
(2) Door assemblies in residential board and care occupancies, as provided in Chapters 32 and 33, shall be permitted.
(3) Where permitted in Chapters 11 through 43, horizontal sliding or vertical-rolling security grilles or door assemblies that are part of the required means of egress shall be permitted, provided that all of the following criteria are met:
(a) Such grilles or door assemblies shall remain secured in the fully open position during the period of occupancy by the general public.
(b) On or adjacent to the grille or door opening, there shall

be a readily visible, durable sign in letters not less than 1 in. (25 mm) high on a contrasting background that reads as follows: THIS DOOR TO REMAIN OPEN WHEN THE BUILDING IS OCCUPIED.
(c) Door leaves or grilles shall not be brought to the

Violation #: 13-1151-VN

closed position when the space is occupied.

(d) Door leaves or grilles shall be operable from within the space without the use of any special knowledge or effort.

(e) Where two or more means of egress are required, not more than half of the means of egress shall be equipped with horizontal-sliding or vertical-rolling grilles or door assemblies.

(4) Horizontal-sliding door assemblies shall be permitted under

any of the following conditions:

(a) Horizontal-sliding door assemblies in detention and correctional occupancies, as provided in Chapters 22 and 23, shall be permitted.

(b) Horizontal-sliding door assemblies complying with 7.2.1.14 shall be permitted.

(c) Unless prohibited by Chapters 11 through 43, horizontal-sliding door assemblies serving a room or area with an occupant load of fewer than 10 shall be permitted, provided that all of the following criteria are met:

i. The area served by the door assembly has no high hazard contents.

ii. The door assembly is readily operable from either side without special knowledge or effort.

iii. The force required to operate the door assembly in the direction of door leaf travel is not more than 30 lbf (133 N) to set the door leaf in motion and is not more than 15 lbf (67 N) to close the door assembly or open it to the minimum required width.

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1296-IS	09/09/2013	Noncompliant	STEPHEN OLNEY ELEMENTARY SCHOOL	Dehler, Cynthia

Rhode Island Division of State Fire Marshal's
Violation Report

Page: 1
09/17/2013

Violation #: 13-1152-VN

Priority: Correct as outlined in Board Decision

Issued/Location

STEPHEN ONLEY ELEMENTARY SCHOOL
1378 DOUGLAS AVE
NORTH PROVIDENCE, RI 02908

Unisex bathroom - used as a storage room
Janitor's closet has pipe chase
Boy's & Girl's bathrooms

Description

At time of inspection, the cited areas lacked fire alarm
coverage: Unisex bathroom - used as a storage room
Janitor's closet has pipe chase
Boy's & Girl's bathrooms

Solution

Board Decision #100136 grants a time variance prior to the
commencement of the 2014-2015 academic year in September of
2014, to correct this deficiency.

Regulations

2328 - 9.6.2.11

Where required by Chapters 11 through 43, an automatic fire
detection
system for initiation of the signaling system shall be
provided in accordance with all of
the following:

(add) (1) Smoke detectors installed in accordance with NFPA
72, National Fire

Alarm and Signaling Code, shall be provided in all common
corridors, lobbies,
top of all stairwells, stairwell landings at each floor
level, elevator machine rooms
and machine spaces, and all elevator landings.

(add) (2) Combination rate of rise and one hundred
thirty-five degrees (135°) F to
one hundred forty degrees (140°) F fixed temperature heat
detectors installed

in accordance with NFPA 72, National Fire Alarm and
Signaling Code, shall be
provided in kitchens within dwelling units, storage rooms

Rhode Island Division of State Fire Marshal's
Violation Report

Page: 2
09/17/2013

Violation #: 13-1152-VN

greater than 24 square
feet, utility rooms, electrical rooms, mechanical equipment
rooms, maintenance
shops, locker rooms, projection booths, above stage areas.
below accessible stage
areas, integral or attached garages and elevator hoistways.

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1296-IS	09/09/2013	Noncompliant	STEPHEN OLNEY ELEMENTARY SCHOOL	Dehler, Cynthia

Violation #: 13-1153-VN

Priority: Correct as outlined in Board Decision

Issued/Location

STEPHEN ONLEY ELEMENTARY SCHOOL
1378 DOUGLAS AVE
NORTH PROVIDENCE, RI 02908

Throughout the building

Description

At time of inspection, the horn/strobe units were not three pulse temporal, as required.

Solution

Board Decision #100136 grants a time variance prior to the commencement of the 2014-2015 academic year in September of 2014, to correct this deficiency.

Regulations

72 - 18.4.2 Distinctive Evacuation

To meet the requirements of Section 10.10, the alarm audible signal pattern used to notify building occupants of the need to evacuate (leave the building) or relocate (from one area to another) shall be the standard alarm evacuation signal consisting of a three-pulse temporal pattern. The pattern shall be in accordance with Figure 18.4.2.1 and shall consist of the following in this order:

- (1) "On" phase lasting 0.5 second ± 10 percent
- (2) "Off" phase lasting 0.5 second ± 10 percent for three successive "on" periods
- (3) "Off" phase lasting 1.5 seconds ± 10 percent

Inspections

Rhode Island Division of State Fire Marshal's
Violation Report

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09/17/2013

Violation #: 13-1153-VN

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1296-IS	09/09/2013	Noncompliant	STEPHEN OLNEY ELEMENTARY SCHOOL	Dehler, Cynthia

Rhode Island Division of State Fire Marshal's
Violation Report

Page: 1
09/17/2013

Violation #: 13-1154-VN

Priority: Correct as outlined in cover letter

Issued/Location

STEPHEN ONLEY ELEMENTARY SCHOOL
1378 DOUGLAS AVE
NORTH PROVIDENCE, RI 02908

Description

At time of inspection, the fire department connection (FDC)
caps were missing.

Regulations

13 - 6.8.2

Fire department connections shall be equipped with
approved plugs or caps, properly secured and arranged for
easy removal by fire departments.

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1296-IS	09/09/2013	Noncompliant	STEPHEN OLNEY ELEMENTARY SCHOOL	Dehler, Cynthia

Rhode Island Division of State Fire Marshal's
Violation Report

Page: 1
09/17/2013

Violation #: 13-1155-VN

Priority: Correct as outlined in cover letter

Issue/Location

STEPHEN ONLEY ELEMENTARY SCHOOL
1378 DOUGLAS AVE
NORTH PROVIDENCE, RI 02908

Speech Pathologist's Room

Description

At time of inspection, a book shelf was impeding the egress
from the Speech Pathologist's room.

Regulations

101 - 7.1.10 Means of Egress Reliabi
Means of egress shall be continuously
maintained free of all obstructions or impediments to full
instant
use in the case of fire or other emergency.
7.1.10.2 Furnishings and Decorations in Means of Egress.
7.1.10.2.1 No furnishings, decorations, or other objects
shall
obstruct exits or their access thereto, egress therefrom, or
visibility
thereof.

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1296-IS	09/09/2013	Noncompliant	STEPHEN OLNEY ELEMENTARY SCHOOL	Dehler, Cynthia

Violation #: 13-1156-VN

Priority: Correct as outlined in cover letter

Address/Location

STEPHEN ONLEY ELEMENTARY SCHOOL
1378 DOUGLAS AVE
NORTH PROVIDENCE, RI 02908

Description

At time of inspection, Classroom #2 had a slide bolt lock on the intervening door. This lock needs to be removed.

Regulations

101 - 15.2.11.1* Windows for Rescue.

Every room or space greater than 250 ft² (23.2 m²) and used for classroom or other educational purposes or normally subject to student occupancy shall have not less than one outside window for emergency rescue that complies with all of the following, unless otherwise permitted by 15.2.11.1.2:

- (1) Such windows shall be openable from the inside without the use of tools and shall provide a clear opening of not less than 20 in. (510 mm) in width, 24 in. (610 mm) in height, and 5.7 ft² (0.5 m²) in area.
- (2) The bottom of the opening shall be not more than 44 in. (1120 mm) above the floor, and any latching device shall be capable of being operated from not more than 54 in. (1370 mm) above the finished floor.
- (3) The clear opening shall allow a rectangular solid, with a width and height that provides not less than the required 5.7 ft² (0.5m²) opening and a depth of not less than 20 in. (510 mm), to pass fully through the opening.

The requirements of 15.2.11.1.1 shall not apply to any of the following:

- (1) Buildings protected throughout by an approved automatic sprinkler system in accordance with Section 9.7
- (2) Where the room or space has a door leading directly to an exit or directly to the outside of the building
- (3) Where the room has a door, in addition to the door that leads to the exit access corridor as required by 15.2.5.5, and such door leads directly to another corridor located in a compartment separated from the compartment housing the corridor addressed in 15.2.5.5 by smoke partitions in accordance with Section 8.4
- (4) Rooms located four or more stories above the finished ground level

Violation #: 13-1156-VN

(5) Where awning-type or hopper-type windows that are hinged or subdivided to provide a clear opening of not less than 4 ft² (0.38 m²) or any dimension of not less than 22 in. (560 mm) meet the following criteria:

(a) Such windows shall be permitted to continue in use.
(b) Screen walls or devices located in front of required windows shall not interfere with rescue requirements.

(6) Where the room or space complies with all of the following:

(a) One door providing direct access to an adjacent classroom

and a second door providing direct access to another adjacent classroom shall be provided.

(b) The two classrooms to which exit access travel is made in accordance with 15.2.11.1.2(6)(a) shall each provide exit access in accordance with 15.2.11.1.2(2) or 15.2.11.1.2(3).

(c) The corridor required by 15.2.5.5, and the corridor addressed by 15.2.11.1.2(3), if provided, shall be separated from the classrooms by a wall that resists the passage of smoke, and all doors between the classrooms and the corridor shall be self-closing or automatic-closing in accordance with 7.2.1.8.

(d) The length of travel to exits along such paths shall not exceed 150 ft (46 m).

(e) Each communicating door shall be marked in accordance with Section 7.10.

(f) No locking device shall be permitted on the communicating doors.

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1296-IS	09/09/2013	Noncompliant	STEPHEN OLNEY ELEMENTARY SCHOOL	Dehler, Cynthia

Rhode Island Division of State Fire Marshal's
Violation Report

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Violation #: 13-1157-VN

Priority: Correct as outlined in Board Decision

Issue/Location

STEPHEN ONLEY ELEMENTARY SCHOOL
1378 DOUGLAS AVE
NORTH PROVIDENCE, RI 02908

Classrooms #1,2,4 & 6

Description

At time of inspection, Classrooms #1,2,4 & 6 were missing
self-closing devices.

Solution

Board Decision #100136 grants a time variance prior to the
commencement of the 2014-2015 academic year in September of
2014, to correct this deficiency.

Regulations

1 - 4.5.8

Whenever or wherever any device, equipment, system,
condition, arrangement, level of protection, or any other
feature is required for compliance with the provisions of
this Code, such device, equipment, system, condition,
arrangement, level of protection, or other feature shall
thereafter be continuously maintained, unless the Code
exempts such maintenance.

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Violation #: 13-1157-VN

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1296-IS	09/09/2013	Noncompliant	STEPHEN OLNEY ELEMENTARY SCHOOL	Dehler, Cynthia

Rhode Island Division of State Fire Marshal's
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Violation #: 13-1158-VN

Priority: Correct as outlined in cover letter

Issued/Location

STEPHEN ONLEY ELEMENTARY SCHOOL
1378 DOUGLAS AVE
NORTH PROVIDENCE, RI 02908

Old Section music/artroom

Description

At time of inspection, the old section music/art room had outlets hanging from the sprinkler pipes.

Regulations

13 - 9.1.1.8 Support of Non-System
Sprinkler piping or hangers shall not be used to support non-system components.

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1296-IS	09/09/2013	Noncompliant	STEPHEN OLNEY ELEMENTARY SCHOOL	Dehler, Cynthia

Rhode Island Division of State Fire Marshal's
Violation Report

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09/17/2013

Violation #: 13-1159-VN

Priority: Correct as outlined in cover letter

Site/Location

STEPHEN ONLEY ELEMENTARY SCHOOL
1378 DOUGLAS AVE
NORTH PROVIDENCE, RI 02908

Electrical/boiler room

Description

At time of inspection, the electrical/boiler room had storage closer than 3' to electrical panels.

Regulations

70 - 110.32 Work Space About Equipm

Sufficient space shall be provided and maintained about electrical equipment to permit ready and safe operation and maintenance of such equipment. Where energized parts are exposed, the minimum clear work space shall be not less than 2.0 m (61/2 ft) high (measured vertically from the floor or platform) or not less than 914 mm (3 ft) wide (measured parallel to the equipment). The depth shall be as required in 110.34(A). In all cases, the work space shall permit at least a 90 degree opening of doors or hinged panels.

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1296-IS	09/09/2013	Noncompliant	STEPHEN OLNEY ELEMENTARY SCHOOL	Dehler, Cynthia

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Violation #: 13-1159-VN

Priority: Correct as outlined in cover letter

Issue/Location

STEPHEN ONLEY ELEMENTARY SCHOOL
1378 DOUGLAS AVE
NORTH PROVIDENCE, RI 02908

Electrical/boiler room in basement

Description

At time of inspection, the electrical/boiler room located in the basement had storage closer than 3' to electrical panels.

Regulations

70 - 110.32 Work Space About Equipm

Sufficient space

shall be provided and maintained about electrical equipment to permit ready and safe operation and maintenance of such equipment. Where energized parts are exposed, the minimum clear work space shall be not less than 2.0 m (61?2 ft) high (measured vertically from the floor or platform) or not less than 914 mm (3 ft) wide (measured parallel to the equipment). The depth shall be as required in 110.34(A). In all cases, the work space shall permit at least a 90 degree opening of doors or hinged panels.

Inspections

Inspection #	Date	Status	Location	Inspector/Group
13-1308-IS	09/13/2013	Noncompliant	MCGUIRE ELEMENTARY SCHOOL	Dehler, Cynthia
13-1296-IS	09/09/2013	Noncompliant	STEPHEN OLNEY ELEMENTARY SCHOOL	Dehler, Cynthia

Violation #: 13-1160-VN

Priority: Correct as outlined in cover letter

Issued/Location

STEPHEN ONLEY ELEMENTARY SCHOOL
1378 DOUGLAS AVE
NORTH PROVIDENCE, RI 02908

Stairway near utility room

Description

At time of inspection, the stairway near the utility room has exits on both sides. The chevrons need to be popped out on the exit sign.

Regulations

101 - 7.10.2 Directional Signs.

A sign complying with 7.10.3, with a directional indicator showing the direction of travel, shall be placed in every location where the direction of travel to reach the nearest exit is not apparent.

7.10.2.2 Directional exit signs shall be provided within horizontal components of the egress path within exit enclosures as required by 7.10.1.2.2.

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1296-IS	09/09/2013	Noncompliant	STEPHEN OLNEY ELEMENTARY SCHOOL	Dehler, Cynthia

Violation #: 13-1162-VN

Priority: Correct as outlined in cover letter

Issued Location

STEPHEN ONLEY ELEMENTARY SCHOOL
1378 DOUGLAS AVE
NORTH PROVIDENCE, RI 02908

Classrooms with intervening doors

Description

All classrooms with intervening doors that lead to an exit
need to be properly marked.

Regulations

101 - 15.2.11.1* Windows for Rescue.

Every room or space greater than 250 ft² (23.2 m²)
and used for classroom or other educational purposes or
normally
subject to student occupancy shall have not less than one
outside window for emergency rescue that complies with all
of

the following, unless otherwise permitted by 15.2.11.1.2:

(1) Such windows shall be openable from the inside without
the use of tools and shall provide a clear opening of not
less than 20 in. (510 mm) in width, 24 in. (610 mm) in
height, and 5.7 ft² (0.5 m²) in area.

(2) The bottom of the opening shall be not more than 44 in.
(1120 mm) above the floor, and any latching device shall
be capable of being operated from not more than 54 in.
(1370 mm) above the finished floor.

(3) The clear opening shall allow a rectangular solid, with
a

width and height that provides not less than the required
5.7 ft² (0.5m²) opening and a depth of not less than 20 in.
(510 mm), to pass fully through the opening.

EXISTING EDUCATIONAL OCCUPANCIES 101-165

2012 Edition

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CA63AB6A-3801-444A-A11A-842F18C94992

15.2.11.1.2 The requirements of 15.2.11.1.1 shall not apply

Violation #: 13-1162-VN

to
any of the following:

(1) Buildings protected throughout by an approved automatic sprinkler system in accordance with Section 9.7

(2) Where the room or space has a door leading directly to an exit or directly to the outside of the building

(3) Where the room has a door, in addition to the door that leads to the exit access corridor as required by 15.2.5.5, and such door leads directly to another corridor located in a compartment separated from the compartment housing the corridor addressed in 15.2.5.5 by smoke partitions in accordance with Section 8.4

(4) Rooms located four or more stories above the finished ground level

(5) Where awning-type or hopper-type windows that are hinged or subdivided to provide a clear opening of not less than 4 ft² (0.38 m²) or any dimension of not less than 22 in. (560 mm) meet the following criteria:

(a) Such windows shall be permitted to continue in use.

(b) Screen walls or devices located in front of required windows shall not interfere with rescue requirements.

(6) Where the room or space complies with all of the following:

(a) One door providing direct access to an adjacent classroom

and a second door providing direct access to another adjacent classroom shall be provided.

(b) The two classrooms to which exit access travel is made in accordance with 15.2.11.1.2(6)(a) shall each provide exit access in accordance with 15.2.11.1.2(2) or 15.2.11.1.2(3).

(c) The corridor required by 15.2.5.5, and the corridor addressed by 15.2.11.1.2(3), if provided, shall be separated from the classrooms by a wall that resists the passage of smoke, and all doors between the classrooms and the corridor shall be self-closing or automatic-closing in accordance with 7.2.1.8.

(d) The length of travel to exits along such paths shall not exceed 150 ft (46 m).

(e) Each communicating door shall be marked in accordance with Section 7.10.

7.10.1.3 Exit Door Tactile Signage. Tactile signage shall be provided to meet all of the following criteria, unless otherwise

provided in 7.10.1.4:

(1) Tactile signage shall be located at each exit door requiring an exit sign.

(2) Tactile signage shall read as follows: EXIT

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Violation #: 13-1162-VN

Inspections

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13-1296-IS	09/09/2013	Noncompliant	STEPHEN OLNEY ELEMENTARY SCHOOL	Dehler, Cynthia

Violation #: 13-1163-VN

Priority: Correct as outlined in cover letter

Issued/Location

STEPHEN ONLEY ELEMENTARY SCHOOL
1378 DOUGLAS AVE
NORTH PROVIDENCE, RI 02908

Gym/cafeteria area

Description

At time of inspection, it was unclear as to the interior finish of the carpeting on the columns in the gym/cafeteria area.

Regulations

15 - 15.3.3 Interior Finish.

Interior finish shall be in accordance with Section 10.2.

15.3.3.2 Interior Wall and Ceiling Finish. Interior wall and ceiling finish materials complying with Section 10.2 shall be

permitted as follows:

- (1) Exits - Class A
- (2) Corridors and lobbies - Class A or Class B
- (3) Low-height partitions not exceeding 60 in. (1525 mm) and used in locations other than exits - Class A, Class B, or Class C

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1296-IS	09/09/2013	Noncompliant	STEPHEN ONLEY ELEMENTARY SCHOOL	Dehler, Cynthia

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Violation #: 13-1163-VN

Priority: Correct as outlined in cover letter

Issued/Location

STEPHEN ONLEY ELEMENTARY SCHOOL
1378 DOUGLAS AVE
NORTH PROVIDENCE, RI 02908

Gym/cafeteria area

Description

At time of inspection, it was unclear as to the interior finish of the carpeting on the columns in the gym/cafeteria area.

Regulations

15 - 15.3.3 Interior Finish.

Interior finish shall be in accordance with Section 10.2.

15.3.3.2 Interior Wall and Ceiling Finish. Interior wall and ceiling finish materials complying with Section 10.2 shall be

permitted as follows:

- (1) Exits - Class A
- (2) Corridors and lobbies - Class A or Class B
- (3) Low-height partitions not exceeding 60 in. (1525 mm) and used in locations other than exits - Class A, Class B, or Class C

Inspections

Inspection #	Date	Status	Location	Inspector/Group
13-1308-IS	09/13/2013	Noncompliant	MCGUIRE ELEMENTARY SCHOOL	Dehler, Cynthia
13-1296-IS	09/09/2013	Noncompliant	STEPHEN OLNEY ELEMENTARY SCHOOL	Dehler, Cynthia

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Violation Report

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09/17/2013

Violation #: 13-1164-VN

Priority: Correct as outlined in cover letter

Issued/Location

STEPHEN ONLEY ELEMENTARY SCHOOL
1378 DOUGLAS AVE
NORTH PROVIDENCE, RI 02908

Above the drop ceilings

Description

At time of inspection, the void above the drop ceilings is greater than 24" and appeared to lack fire alarm coverage.

Regulations

2328 - 9.6.2.11

Where required by Chapters 11 through 43, an automatic fire detection system for initiation of the signaling system shall be provided in accordance with all of the following:

1) Smoke detectors installed in accordance with NFPA 72, National Fire Alarm and Signaling Code, shall be provided in all common corridors, lobbies, top of all stairwells, stairwell landings at each floor level, elevator machine rooms and machine spaces, and all elevator landings.
(add) (2) Combination rate of rise and one hundred thirty-five degrees (135°) F to one hundred forty degrees (140°) F fixed temperature heat detectors installed in accordance with NFPA 72, National Fire Alarm and Signaling Code, shall be provided in kitchens within dwelling units, storage rooms greater than 24 square feet, utility rooms, electrical rooms, mechanical equipment rooms, maintenance shops, locker rooms, projection booths, above stage areas, below accessible stage areas, integral or attached garages and elevator hoistways.

RIGL

(5) Spaces twenty-four inches (0.61m) or more above suspended ceilings shall be exempt from the requirements of 9.6.2.11 (3) if the space is built of noncombustible construction and the space contains only wiring, ductwork and

Rhode Island Division of State Fire Marshal's
Violation Report

Page: 2
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Violation #: 13-1164-VN

fixtures, properly installed under this Code or the State
Building Code.

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1296-IS	09/09/2013	Noncompliant	STEPHEN OLNEY ELEMENTARY SCHOOL	Dehler, Cynthia

Rhode Island Division of State Fire Marshal's
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Violation #: 13-1166-VN

Priority: Correct as outlined in Board Decision

Issued/Location

STEPHEN ONLEY ELEMENTARY SCHOOL
1378 DOUGLAS AVE
NORTH PROVIDENCE, RI 02908

Description

At time of inspection, some of the doors appear not to meet the requirements for a 20 minute fire door equipped with self closing devices.

Solution

Board Decision #100136 grants a time variance prior to the commencement of the 2014-2015 academic year in September of 2014, to correct this deficiency.

Regulations

101 - Table 8.3.4.2
Table 8.3.4.2

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1296-IS	09/09/2013	Noncompliant	STEPHEN ONLEY ELEMENTARY SCHOOL	Dehler, Cynthia

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Violation Report

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Violation #: 13-1167-VN

Priority: Correct as outlined in cover letter

Issued/Location

STEPHEN ONLEY ELEMENTARY SCHOOL
1378 DOUGLAS AVE
NORTH PROVIDENCE, RI 02908

corridors where copy machines, trash barrels or file
cabinets

Description

Any corridors that are being used for storage of file
cabinets, copy machines cuts the egress width to less than
6'.

Regulations

101 - 15.2.3.2
Minimum Corridor Width. Exit access corridors shall
have not less than 6 ft (1830 mm) of clear width.

Inspections

<u>Inspection #</u>	<u>Date</u>	<u>Status</u>	<u>Location</u>	<u>Inspector/Group</u>
13-1296-IS	09/09/2013	Noncompliant	STEPHEN OLNEY ELEMENTARY SCHOOL	Dehler, Cynthia

“AHERA”
ASBESTOS
RE-INSPECTION & MANAGEMENT PLAN

JANUARY 2013

at the:

**STEPHEN OLNEY
ELEMENTARY SCHOOL**

1378 Douglas Avenue
North Providence, RI 02904

For:

Armand Milazzo
Director of Non-Instructional Services
North Providence Public Schools

Submitted by:


John Carbone [RIDOH # 177 IS / MP]

VORTEX Inc.
3670 West Shore Road
Warwick, RI 02886

1-800-VORTEXX

X Main copy

____ School copy

INTRODUCTION

Vortex, Inc. conducted a 3 year Re-inspection of friable and non-friable asbestos-containing building material(s) (ACBM) and "presumed" asbestos-containing building material(s) (PACM) at **Stephen Olney Elementary School, North Providence, Rhode Island**. This Reinspection was performed in accordance with 40 CFR Part 763.85, AHERA FINAL RULE. This Reinspection was approved by the School's Local Education Agencies (LEA) (Armand Milazzo). This inspection was conducted on **January 31, 2013** by John Carbone from Vortex Inc. (RIDOH Asbestos Consultant Certificate #177 IS / MP).

The inspection was conducted in accordance with the AHERA Regulations. Original inspection reports as well as Re-inspection reports were utilized to ascertain the locations of the pre-assessed asbestos-containing building materials and all functional/accessible areas of the school building. These areas included; classrooms, utility closets, janitor's closets, above drop ceilings, and crawlspaces...etc. Building plans and reports were obtained through the school. The identified asbestos-containing building materials are denoted on the asbestos hazard inspection forms for further reference.

Assessment of the previously identified (original AHERA inspection and/or subsequent re-inspections) asbestos-containing materials consists of the information collected during the inspection portion of this project and the potential for the material to become damaged or significantly damaged. The assessment includes the following considerations; deteriorated condition, the friability of the material, vibration, water damage, air erosion, changes in the accessibility of the ACBM, new damage or increased damage to the ACBM, increase or decrease on the potential for significant damage or damage.

INSPECTION

The AHERA Re-inspection evaluation was conducted at **Stephen Olney Elementary School on January 31, 2013**. At least once every 3 years after a management plan is in effect, each local education agency (LEA) shall have a Re-inspection evaluation performed by accredited and state certified individual(s). This Reinspection shall consist of all friable and nonfriable, known or assumed ACBM in each school building that they lease, own, or otherwise use as a school building. For each area of the school buildings, the inspector conducted the following assessment criteria:

- 1) Visually reinspect and reassess the condition of all known or assumed ACBM/PACM.
- 2) Visually inspected the material that was previously considered non-friable ACBM/PACM and touched the materials to determine whether it has become friable since the last Re-inspection.
- 3) Identified any homogenous areas with material that has become friable since the last Re-inspection.
- 4) For each homogenous area of newly friable material that is already assumed to be ACBM, bulk material samples were collected and submitted for asbestos

analysis by a RI DOH certified laboratory.

5) Assessed the condition of the newly friable material in areas where samples were collected and newly friable materials that are assumed to be ACBM. *Suspect ACM bulk material sampling/analysis was not performed as part of this re-inspection and shall remain assumed to contain asbestos.*

6) Reassessed the condition of the friable, known or assumed ACBM previously identified.

7) Recorded the previous information for the submittal of this AHERA Re-inspection report and management plan.

Vortex, Inc. inspecting personnel utilized the original and the subsequent Re-inspection reports for this school building. This aided the inspection process and evaluation as to the location, amount, and former condition of the previously assessed asbestos-containing material(s) within the building. This management plan reports on all pre-assessed asbestos containing materials within the building whether there is a physical change or not. Refer to attached Chart of ACBM and PACM for homogeneous areas.

ASSESSMENT

The previously identified asbestos-containing building material was identified within its current condition and assessed as to the potential for damage or significant damage. If previously assumed asbestos-contained material is observed to be friable and/or damaged, bulk material sample(s) shall be collected/analyzed for asbestos content. The previously identified asbestos-containing material were classified and categorized to determine the appropriate response actions. The identified, assumed, or suspect asbestos-containing building materials are homogenized under one (1) of the three (3) types of asbestos-containing building materials. They are either:

- 1) Thermal System Insulation
- 2) Surfacing Materials, and/or
- 3) Miscellaneous materials and insulation's

RECOMMENDED RESPONSE ACTIONS

Condition classifications of the asbestos containing building materials are utilized to help the inspector designate a response action in accordance with the AHERA Regulations per 40 CFR 763.88(b) to include:

- 1) *Damaged or significantly damaged thermal system insulation*
- 2) *Damaged friable surfacing ACM*
- 3) *Significantly damaged friable surfacing ACM*
- 4) *Damaged or significantly damaged friable miscellaneous ACM*
- 5) *ACBM with potential for damage.*
- 6) *ACBM with potential for significant damage*
- 7) *Any remaining friable ACBM or friable suspect ACBM*

RESPONSE ACTION KEYS USED WITHIN ATTACHED CHARTS

Key #	THERMAL INSULATION [T]
1	<i>Isolate area and restrict access.</i> Abate as soon as possible.
2	<i>Continue O&M.</i> Repair or remove as soon as possible, or reduce potential for disturbance.
3-5	<i>Repair, Continue O&M.</i> Number indicates priority if all cannot be done immediately.
6-7	<i>Continue O&M.</i> Take preventative measures to reduce disturbance. Number indicates priority for removal.
8	<i>Continue O&M</i> until major renovation or demolition requires removal under NESHAP's or until hazard factors change.

Key #	SURFACING MATERIALS [S]
1	<i>Isolate area and restrict access.</i> Abate as soon as possible.
2	<i>Continue O&M.</i> Repair or remove as soon as possible, or reduce potential for disturbance.
3	<i>Continue O&M.</i> Schedule removal when practical and cost-effective or reduce disturbance.
4-5	<i>Continue O&M.</i> Schedule removal when practical and cost effective. Number indicates priority for removal.
6-7	<i>Continue O&M.</i> Take preventative measures to reduce disturbance. Number indicates priority for removal.
8	<i>Continue O&M</i> until major renovation or demolition requires removal under NESHAP's or until hazard factors change.

Key #	MISCELLANEOUS MATERIALS [M]
1	<i>Isolate area and restrict access.</i> Abate as soon as possible.
2	<i>Continue O&M.</i> Repair or remove as soon as possible, or reduce potential for disturbance.
3	<i>Continue O&M.</i> Schedule removal when practical and cost-effective or reduce disturbance.
4-5	<i>Continue O&M.</i> Schedule removal when practical and cost effective. Number indicates priority for removal.
6-7	<i>Continue O&M.</i> Take preventative measures to reduce disturbance. Number indicates priority for removal.
8	<i>Continue O&M</i> until major renovation or demolition requires removal under NESHAP's or until hazard factors change.

TYPES OF ACM PRESENT

Refer to the original AHERA and subsequent/attached Re-Inspection Reports for PACM and ACBM locations.

In summary, Vortex Inc. conducted the required three (3) year AHERA Re-inspection at **Stephen Olney Elementary School**. As a results of this Re-inspection, the following materials were observed and determined to be in need of repair and/or removal or changes since the most recent AHERA Re-inspection included:

REFER TO ATTACHED CHART OF ACM

PHYSICAL ASSESSMENT

THE REMAINING ACBM OR PACM WITHIN THIS SCHOOL BUILDING WAS INTACT AND IN GOOD CONDITION AT THE TIME OF THE RE-INSPECTION.

OUTSIDE CONTRACTORS

Prior to any outside contractor performing work that May disturb/impact the ACM or PACM building components (pipes, wall plasters, etc.) throughout this school building, they shall be informed (by the LEA) about the suspect material locations. The LEA shall collect/analyze (by a RIDOH licensed Asbestos Inspector) these materials to determine if they contain asbestos (>1%). All lab reports shall be inserted into the AHERA Management Planner book. If lab results confirm the material to contain asbestos, then a RI licensed contractor or competent person (<3') shall remove the ACM prior to repairs/renovation activities. In any event, the contractor shall complete the attached form **OUTSIDE CONTRACTOR - ACKNOWLEDGEMENT STATEMENT FORM** and it shall be inserted into the Management Planner.

STEPS TO INFORM BUILDING OCCUPANTS / GUARDIANS

Workers and building occupants, or their legal guardians shall be informed about Re-inspections, response actions, and post-response action activities, including periodic Re-inspection and surveillance activities that are planned or in progress through postings in the teachers lunch room and information sent home in the annual AHERA Notification letter sent out in early September of each year.

AHERA - ASBESTOS RE-INSPECTION OF ACM & PACM

STEPHEN OLNEY ELEMENTARY SCHOOL

NORTH PROVIDENCE SCHOOL DEPARTMENT

Reinspection Date: 1/31/13

		INSPECTION FINDINGS FOR ACM & PACM																Initials of Surveillance Inspector				
		Type and Quantity																				
		FLOOR COVERING (NF)						CEILING TYPE (F)				Response Action					6 MONTH SURVEILLANCES					
Location of ACBM	Floor	9" x 9" floor tile	12"x12" floor tile	Sheet material	concrete	ceramic	carpet	PLASTER	1' x 1'	2' x 4'	2' X 2'	Wall Material	FRIABLE	DAMAGED	ACCESS	POTENT. DAMAGE	RESPONSE	7/13	1/14	7/14	1/15	7/15
		TSI	MISC.	MISC.		MISC.		SURFACE	MISC	MISC.	MISC.	SURFACE										
PRINCIPAL	1		250							250		BL	N	N	Y	X	M8					
OFFICE	1		200					200				BL	N	N	Y	X	M8					
HALL	1		1700					1700				BL	N	N	Y	X	M8					
CLASS 1	1		760							760		BL	N	N	Y	X	M8					
CLASS 22	1		150					150				BL	N	N	Y	X	M8					
READING	1		160					60		100		BL	N	N	Y	X	M8					
CLASS 41	1		560					560				BL	N	N	Y	X	M8					
CLASS 8	1		760							760		BL	N	N	Y	X	M8					
CLASS 9	1		760							760		BL	N	N	Y	X	M8					
JANITOR	1		80					80				BL	N	N	Y	X	M8					
WATER CLOSET	1		30					30				BL	N	N	Y	X	M8					
CLASS 10	1		760							760		BL	N	N	Y	X	M8					
CLASS 11	1		760							760		BL	N	N	Y	X	M8					
SUPPLY	1		60					60				BL	N	N	Y	X	M8					
CLASS 12	1		760							760		BL	N	N	Y	X	M8					
STORAGE	1		30							30		BL	N	N	Y	X	M8					
KITCHEN	1		720					720				BL	N	N	Y	X	M8					
CAFETERIA	1		2700					2700				BL	N	N	Y	X	M8					
HALL	2		425					425				BL	N	N	Y	X	M8					
CLASS 13	2		750					750				BL	N	N	Y	X	M8					
CLASS 14	2		750					750				BL	N	N	Y	X	M8					
LANDING	3		200					200				BL	N	N	Y	X	M8					
HALL	3		600					600				PL	N	N	Y	X	M8					
CLASS 17	3						750	750				PL	N	N	Y	X	M8					
CLASS 15	3		700					700				PL	N	N	Y	X	M8					
SPECIAL ED	3		30		30			30				PL	N	N	Y	X	M8					

													Vortex Inc. Page 2 of 2									
INSPECTION FINDINGS FOR ACM & PACM													Initials of Surveillance Inspector									
Type and Quantity																						
FLOOR COVERING (NF)								CEILING TYPE (F)				Response Action					6 MONTH SURVEILLANCES					
Location of ACBM	Floor	9" x 9" floor tile	12"x12" floor tile	Sheet material	concrete	ceramic	carpet	PLASTER	1' x 1'	2' x 4'	2' X 2'	Wall Material	FRIABLE	DAMAGED	ACCESS	POTENT. DAMAGE	RESPONSE	7/13	1/14	7/14	1/15	7/15
		TSI	MISC.	MISC.		MISC.		SURFACE	MISC	MISC.	MISC.	SURFACE										
OT PT	3		30		30			30				PL	N	N	Y	X	M8					
LANDING	B		200					200				PL	N	N	Y	X	M8					
CLASS 19	B		400					400				PL	N	N	Y	X	M8					
STORAGE	B		160					160				PL	N	N	Y	X	M8					
LANDING	B		200					200				PL	N	N	Y	X	M8					
CLASS 18	B		400					400				PL	N	N	Y	X	M8					
HALL	1		160						160	160		PL	N	N	Y	X	M8					
FOYER	1		800						800	800		PL	N	N	Y	X	M8					
CLASS 6	1		760							760		PL	N	N	Y	X	M8					
CLASS 3	1	900								900		PL	N	N	Y	X	M8					
CLASS 2	1									730		PL	N	N	Y	X	M8					
CLASS 5	1		760							760		PL	N	N	Y	X	M8					
CLASS 1	1		430							760		PL	N	N	Y	X	M8					
CLASS 4	1		760							760		PL	N	N	Y	X	M8					

Code: N = NO; Y = YES; T = THERMAL; S = SURFACING; M = MISCELLANEOUS
 NC = NO CHANGE; R = REPAIRED; D = DAMAGED

Asbestos Inspector: John Carbone
 License Number: 177IS Expires 3/31/13

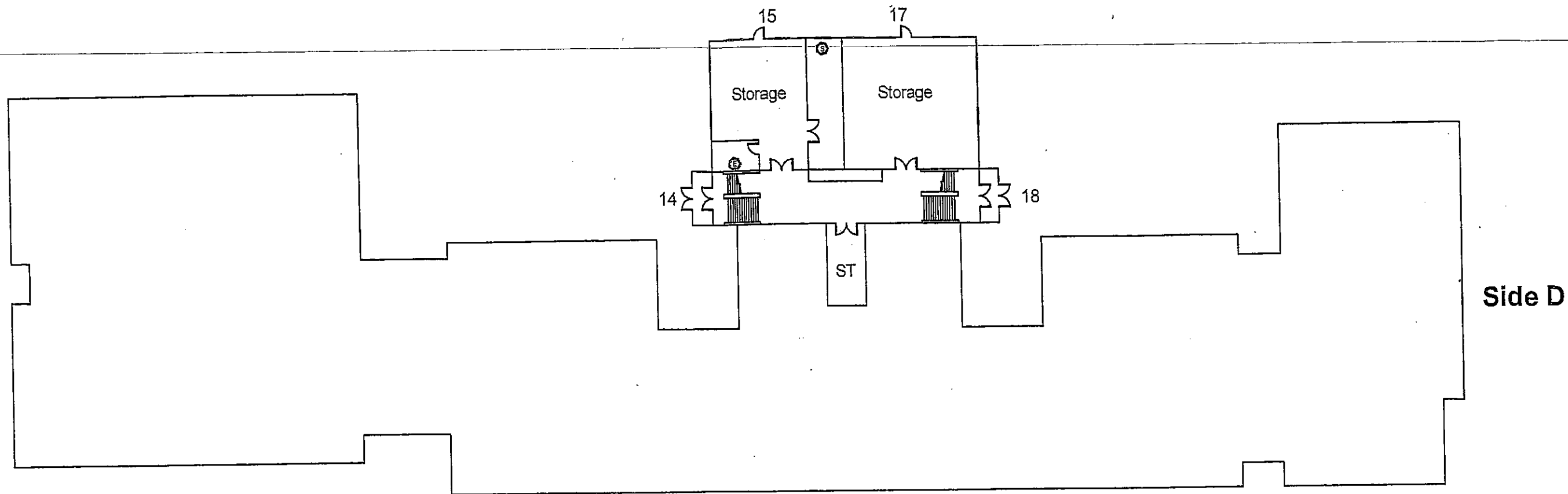
Management Planner: John Carbone
 License Number: 177MP Expires 3/31/13

I, the LEA's Designated Person, have read and understood the recommendations made above:

Date: 1/13/13

District:	North Providence Public Schools
Building Name:	Olney Elementary School
Address:	1378 Douglas Avenue North Providence, RI 02904

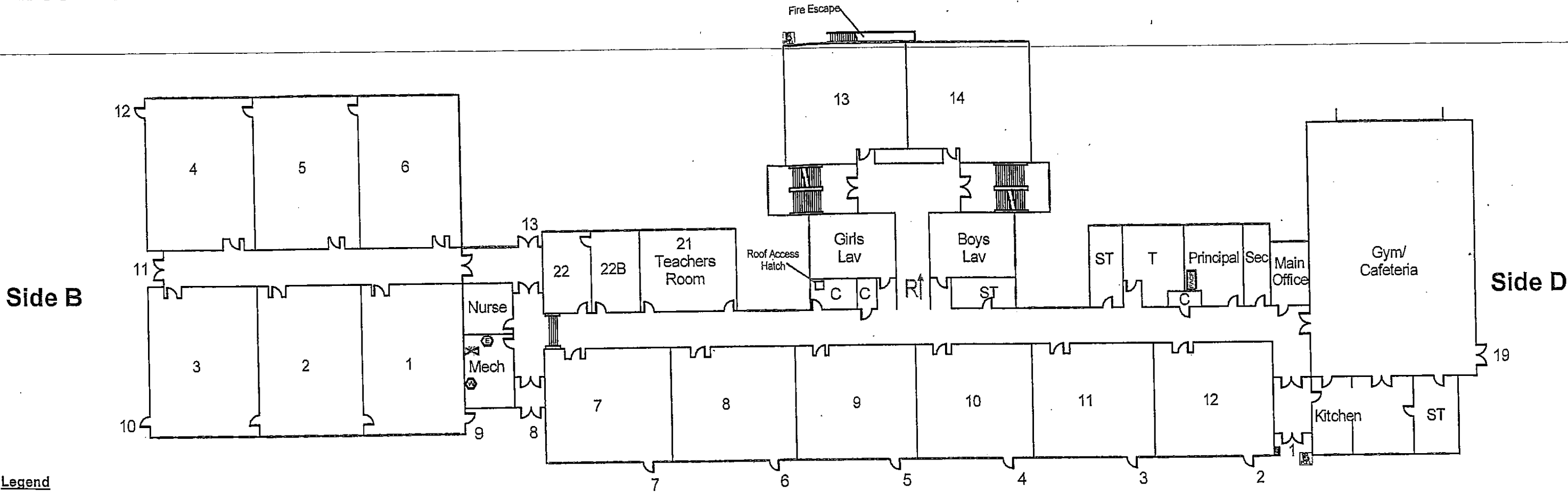
Basement



- Legend**
- ST Storage
 - C Custodial
 - M/W Mens' / Womens' Rooms
 - B/G Boys' / Girls' Rooms
 - R Ramp
 - Camera
 - Electrical Shutoff
 - w Water Shutoff
 - X Gas Shutoff
 - FACP Fire Alarm Control Panel
 - Knox-Box

District:	North Providence Public Schools
Building Name:	Olney Elementary School
Address:	1378 Douglas Avenue North Providence, RI 02904

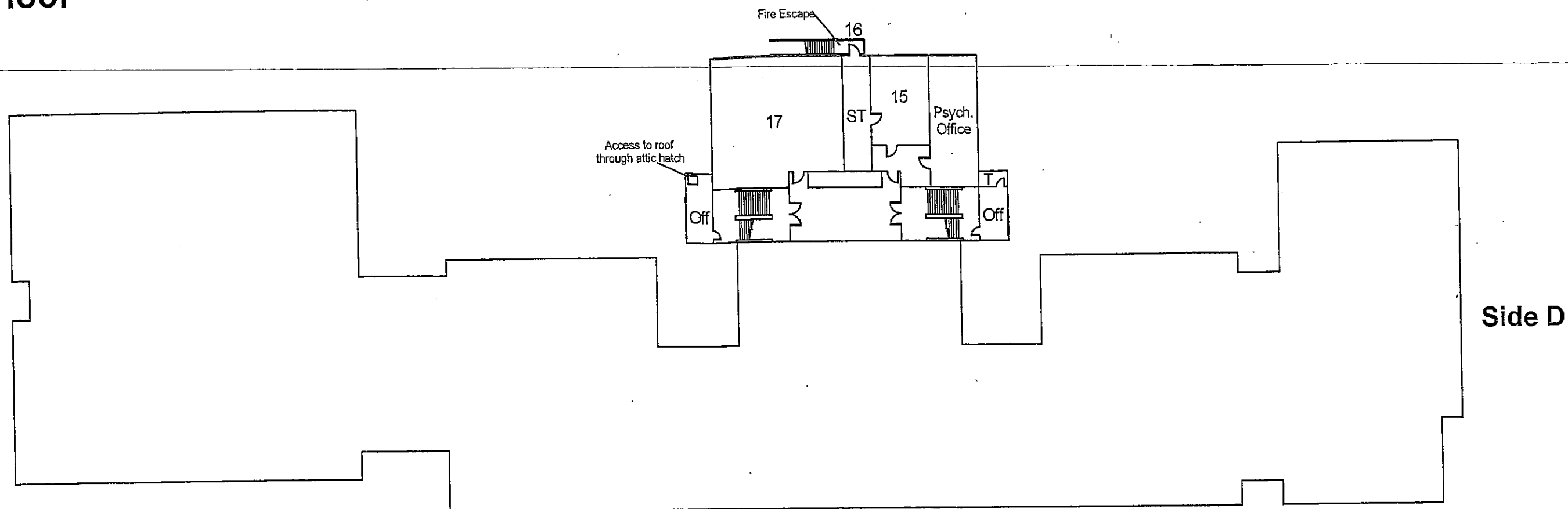
First Floor



- Legend**
- ST Storage
 - C Custodial
 - M/W Mens' / Womens' Rooms
 - B/G Boys' / Girls' Rooms
 - R Ramp
 - Camera
 - E Electrical Shutoff
 - w Water Shutoff
 - Gas Shutoff
 - FACP Fire Alarm Control Panel
 - Knox-Box

District:	North Providence Public Schools
Building Name:	Olney Elementary School
Address:	1378 Douglas Avenue North Providence, RI 02904

Second Floor



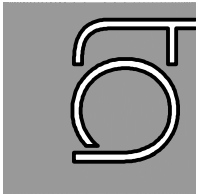
Legend

- ST Storage
- C Custodial
- M/W Mens' / Womens' Rooms
- B/G Boys' / Girls' Rooms
- R Ramp
- Camera
- Electrical Shutoff
- w Water Shutoff
- Gas Shutoff
- FACP Fire Alarm Control Panel
- Knox-Box

RICCI MIDDLE SCHOOL

51 INTERVALE AVENUE NORTH PROVIDENCE, RI 02911





TORADO
ARCHITECTS

28 GREENWICH ST.
PROVIDENCE, RI 02907
401.781.1555 P
401.781.1555 F

KEY PLAN



RENOVATIONS TO:

NORTH
PROVIDENCE
PUBLIC
SCHOOLS

FACILITY
ASSESSMENT
PROJECT 2013

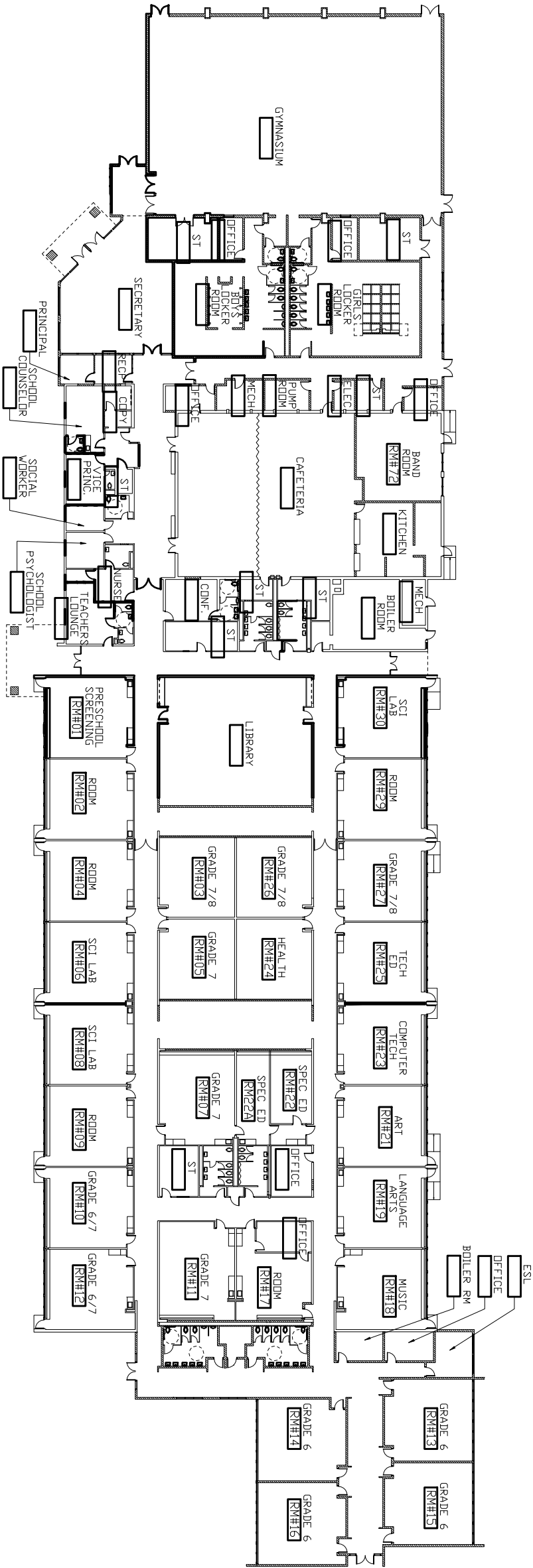
RIGGI MIDDLE
SCHOOL

55 INTERSTATE AVENUE
NORTH PROVIDENCE RI 02911

DATE	REV.	DESCRIPTION
06 JANUARY 2014	1	REVISIONS

DESIGNER	AS NOTED
ARCHITECT	L.T.

A.I.O.R



1 FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"

55 INTERSTATE AVENUE
NORTH PROVIDENCE RI 02911
401.781.1555 P
401.781.1555 F

CAPACITY ANALYSIS						
NORTH PROVIDENCE PUBLIC SCHOOLS						
RICCI MIDDLE SCHOOL				6-8 GRADE		
Room Number	Use		Size Sq.Ft.	Room Capacity	Code Capacity	Size per Ride
	Current Use	Room				
Main Level						
1	PRE-K SCREENING	CLASSROOM	822	-		950
2	ROOM	-	819	-	40	950
3	GRADE 7/8	CLASSROOM	819	25	40	950
4	ROOM	-	688	25	34	950
5	GRADE 7	CLASSROOM	688	25	34	950
6	SCI LAB	CLASSROOM	819	25	40	950
7	GRADE 7	CLASSROOM	816	25	40	950
8	SCI LAB	CLASSROOM	816	25	40	950
9	ROOM	-	816	25	40	950
10	GRADE 6/7	CLASSROOM	816	25	40	950
11	GRADE 7	CLASSROOM	849	25	42	950
12	GRADE 6/7	CLASSROOM	821	25	40	950
13	GRADE 6	CLASSROOM	814	25	40	950
14	GRADE 6	CLASSROOM	814	25	40	950
15	GRADE 6	CLASSROOM	814	25	40	950
16	GRADE 6	CLASSROOM	814	25	40	950
	ESL	-	213	-	10	
	OFFICE	-	166	-	8	
	BOILER ROOM	-	160	-	8	
17	ROOM	-	625	25	31	950
	OFFICE	-	195	-	9	
18	MUSIC	CLASSROOM	823	25	41	1,700
19	LANG. ARTS	CLASSROOM	823	25	41	950
	OFFICE	-	239	-	11	
	GIRLS LAV	LAV	164	-	8	
	BOYS LAV	LAV	170	-	8	
	STORAGE	-	231	-	11	
21	ART	CLASSROOM	822	25	41	1,350
22	SPEC ED	CLASSROOM	350	11	17	950
22A	SPEC ED	CLASSROOM	366	11	18	950
23	COMPUTER TECH	CLASSROOM	818	25	40	1,200
24	HEALTH	CLASSROOM	690	25	34	510
25	TECH ED	CLASSROOM	817	25	40	1,200
26	GRADE 7/8	CLASSROOM	690	25	34	950
27	GRADE 7/8	CLASSROOM	822	25	41	950
29	ROOM	-	822	25	41	950
30	SCI LAB	CLASSROOM	825	25	41	1,200
	LIBRARY	-	2,256	-	112	2,680
	MECH ROOM	-	125	-	6	
	BOILER ROOM	-	661	-	33	
	STORAGE	-	172	-	8	
	LADIES ROOM	LAV	160	-	8	
	MENS ROOM	LAV	160	-	8	
	STORAGE	-	243	-	12	
	CONFERENCE ROOM	-	250	-	12	
	STORAGE	-	78	-	3	
	TEACHERS LOUNGE	-	391	-	19	300
	NURSE	-	256	-	12	510

CAPACITY ANALYSIS						
NORTH PROVIDENCE PUBLIC SCHOOLS						
RICCI MIDDLE SCHOOL				6-8 GRADE		
ROOM NUMBER	USE		SIZE SQ.FT.	ROOM CAPACITY	CODE CAPACITY	SIZE PER RIDE
	CURRENT USE	ROOM				
	SCHOOL PSYCHOLOGIST	-	158	-	7	
	KITCHEN		700	-	35	1,700
72	BAND ROOM	CLASSROOM	848		42	1,700
	CAFETERIA	-	3,400	-	170	9,195
	STORAGE	-	43	-	2	
	VICE PRINCIPAL	-	245	-	12	
	SOCIAL WORKER	-	111	-	5	450
	SCHOOL COUNSELOR	-	292	-	14	
	COPY ROOM	-	128	-	6	
	RECEPTIONIST	-	126	-	6	
	PRINCIPAL	-	115	-	6	
	SECRETARY	-		-		
	OFFICE	-	141	-	7	
	MECH ROOM	-	156	-	7	
	PUMP ROOM	-	155	-	7	
	ELECTRICAL ROOM	-	72	-	3	
	STORAGE	-	93	-	4	
	OFFICE	-	100	-	5	
	GIRLS LOCKER ROOM	-	1,502	-	75	
	BOYS LOCKER ROOM	-	1,292	-	64	
	STORAGE	-	300	-	15	
	OFFICE	-	123	-	6	
	OFFICE	-	113	-	5	
	STORAGE	-	345	-	17	
	GYMNASIUM	-	6,767		338	6,150
	TOTAL BUILDING SQ.FT.		63,649			
	CURRENT ENROLLMENT:		399			
	TOTAL CAPACITY:		647	X 85% = 549		
	85% UTILIZATION		549			
	SQ. FT. PER STUDENT:		159	(AT CURRENT ENROLLMENT)		
			115	(AT CAPACITY)		

Ricci Middle School



- RICCI MIDDLE SCHOOL



CORRIDOR VENTILATION



ENTRANCE



EXTERIOR



TOILET COMPARTMENT



UNUSED RESTROOM

ARCHITECTURAL FEASIBILITY STUDY

RICCI MIDDLE SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
- 3 - ACTION REQUIRED 4-5 YEARS
- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

GENERAL INFORMATION

NAME OF SCHOOL: RICCI MIDDLE SCHOOL

PRINCIPAL: LUCILLE DELASANTA

ADDRESS: 51 INTERVALE AVENUE, NORTH PROVIDENCE, RI 02911

OWNER: NORTH PROVIDENCE SCHOOL DEPARTMENT

GRADE LEVELS: 6 THROUGH 8

STUDENT POPULATION: 399

STUDENT CAPACITY: 549

YEAR CONSTRUCTED: 1966

ADDITIONS: 2002

CONSTRUCTION DATA:

STATE BUILDING CODE / CONSTRUCTION TYPE	
ORIGINAL BUILDING:	IIB
FIRST ADDITION:	IIB
SECOND ADDITION:	N/A
OCCUPANCY GROUP:	E
SUB - BASEMENT:	N/A
BASEMENT:	N/A
GRADE LEVEL:	N/A
SECOND FLOOR:	N/A
THIRD FLOOR:	N/A

NUMBER OF STORIES	
ORIGINAL BUILDING:	1
FIRST ADDITION:	1
SECOND ADDITION:	N/A

ARCHITECTURAL FEASIBILITY STUDY

RICCI MIDDLE SCHOOL

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INTERIOR FINISHES

	FLOOR FINISH	CONDITIONS	WALL FINISH	CONDITIONS	CEILING FINISH	CONDITIONS
TYPICAL CLASSROOMS	VCT	5	CMU	5	SAT	5
GYM	WD	5	CMU	5	OPEN	5
GYM LOCKER ROOMS	CT	5	CMU	5	SAT	5
LOCKER ROOMS	CT	5	CMU	5	SAT	5
AUDITORIUM	N/A					
CAFETERIA	VCT	5	CMU	5	OPEN	5
LIBRARY	VCT	5	CMU	5	SAT	5
OFFICES	VCT	5	GYP	5	SAT	5
TEACHER LOUNGE	VCT	5	GYP	5	SAT	5
TOILETS	CT	3/5	CT CMU	3/5	GYP	3/5
CORRIDORS	VCT	5	CMU	5	SAT	5
LOBBIES	VCT	5	CMU	5	SAT	5
VESTIBULE						
STAIRS						
KITCHEN						
MECHANICAL/SERVICE						

INTERIOR ELEMENTS

	MATERIAL	CONDITION	REMARKS
INTERIOR DOORS	MTL/WD	5	
HARDWARE		5	
TOILET STALLS		5	
COUNTER/CABINETS	PL	5	
TEACHERS WARDROBE	PL	5	

ABBREVIATIONS

SAT	SUSPENDED ACOUSTICAL TILE	CONC	CONCRETE
VCT	VINYL COMPOSITE TILE	CMU	CONCRETE MASONRY UNIT
ACT	ASBESTOS COMPOSITE TILE	GYP BD	GYP SUM BOARD
CT	CERAMIC TILE	PTD	PAINTED
PL	PLASTIC LAMINATE	BIT	BITUMINOUS PAVING
WD	WOOD	ALUM	ALUMINUM
MTL	METAL	N/A	NOT APPLICABLE
		RT	RUBBER TILE

ARCHITECTURAL FEASIBILITY STUDY

RICCI MIDDLE SCHOOL

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PROVISIONS FOR ACCESSIBILITY

EXTERIOR ACCESSIBLE ROUTE	
ACCESSIBLE ROUTE:	

	COMPLIANCE	REMARKS
PRIMARY ENTRANCE:	YES	
EXTERIOR/ EGRESS DOORS:	YES	
SIGNAGE:	YES	

INTERIOR ACCESSIBLE ROUTE	COMPLIANCE	REMARKS
ACCESSIBLE ROUTE:	YES	
ENTRANCE VESTIBULES:	YES	
SIGNAGE:	YES	
OFFICES:	YES	
LIBRARY:	YES	
AUDITORIUM	YES	
CAFETERIA:	YES	
CROSS- CORRIDOR:	YES	
STAIRS:	YES	
HARDWARE:	YES	
ADMINISTRATION:	YES	
GYMNASIUM:	YES	
LOCKER ROOM:	YES	
CLASSROOM DOORS:	YES	
DRINKING FOUNTAINS	YES	
CLASSROOM SINKS:	NO	

CONDITIONS				
VERTICAL ACCESS:	N/A			
(ELEVATORS / LIFTS)				

	FLOOR SURFACE	HANDRAIL / GUARD HEIGHTS	CONDITIONS
STAIRWAYS:	N/A		
RAMPS:			

ARCHITECTURAL FEASIBILITY STUDY

RICCI MIDDLE SCHOOL

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PROVISIONS FOR ACCESSIBILITY CONT.**CLINIC:**

REQUIRED CLINIC AREAS/ ASSEMBLIES	COMPLIANCE	CONDITIONS	REMARKS
WAITING AREA:	X		
PRIVATE MEETING AREA:	X		
EXAMINATION AREA:	X		
REST ROOM:	X		

KITCHEN:

REQUIRED KITCHEN AREAS/ ASSEMBLIES	COMPLIANCE	CONDITIONS	REMARKS
WASHABLE SURFACES:	X		
HAND SINK:	X		
REST ROOM:	X		

CLASSROOM EGRESS:

	COMPLIANCE	CONDITIONS	REMARKS
EMERGENCY RESCUE WINDOW:	X		
DOORS BETWEEN CLASSROOMS:	X		

ARCHITECTURAL FEASIBILITY STUDY

RICCI MIDDLE SCHOOL

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SITE DATA:

	DESCRIPTION
LOT AREA:	
LAND USED:	

	MATERIALS	CONDITIONS	REMARKS
PARKING LOT:	BIT	5	
SIGNAGE:	WD/ALUM	5	
BUS DROP OFF:	BIT	5	
BUS PICK UP:	BIT	5	
PARENT DROP:	BIT	5	
PARENT PICK UP:	BIT	5	
LOADING/SERVICE AREA:	BIT	5	
TRASH AREA:	BIT	5	

SITE ACCESSIBILITY DATA:

	COMPLIANCE	REMARKS
PARKING:	YES	
CURB CUTS:	YES	
RAMPS:	YES	
WALKWAYS:	YES	

ARCHITECTURAL FEASIBILITY STUDY

RICCI MIDDLE SCHOOL

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BUILDING SYSTEMS AND ASSEMBLIES OF ORIGINAL BUILDINGS CON'**EXTERIOR**

EXTERIOR ENVELOPE	MATERIAL	CONDITIONS	REMARKS
WALL ASSEMBLY:			
ORIGINAL BUILDING:	BRICK	5	
ADDITION:	CMU	4	
ROOF ASSEMBLY:			PORTION OF ROOF HAS FAILED
ORIGINAL BUILDING:		5	SEE NOTE
ADDITION:		5	SEE NOTE
WINDOWS:			
ORIGINAL BUILDING:	ALUM	5	
ADDITION:	ALUM	5	
EXTERIOR DOORS:	MTL/ALUM	5	
ORIGINAL BUILDING:	MTL/ALUM	5	
ADDITION:	MTL/ALUM	5	

ARCHITECTURAL FEASIBILITY STUDY

RICCI MIDDLE SCHOOL

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SECURITY

	PROVIDED	NOT PROVIDED	REMARKS
SCHOOL SIGN:	√		
MAIN ENTRANCE IDENTIFICATION:		√	
EXTERIOR DOOR IDENTIFICATION:		√	
PASSIVE SECURITY:	√		
ACTIVE SECURITY:	√		
EXTERIOR CAMERAS:	√		
INTERIOR CAMERAS:	√		
DOOR FOB:	√		
SENSORS:	√		
CLASS ROOM LOCKDOWN:	√		
CLASS ROOM CONNECTING DOOR:		X	

ARCHITECTURAL FEASIBILITY STUDY

RIGGI MIDDLE SCHOOL

**ACCESSIBLE
RESTROOMS**

	COMPLIANCE	CONDITIONS	REMARKS
MEN 1			
TOILET	NO	3	
SINK	NO	3	
ACCESSORIES	NO	3	
GRAB BARS	NO	3	
TURNING RADIUS	YES	3	
WOMEN 2			
TOILET	NO	3	
SINK	NO	3	
ACCESSORIES	NO	3	
GRAB BARS	NO	3	
TURNING RADIUS	YES	3	
MEN 3			
TOILET	NO	3	
SINK	NO	3	
ACCESSORIES	NO	3	
GRAB BARS	NO	3	
TURNING RADIUS	YES	3	
WOMEN 4			
TOILET	NO	3	
SINK	NO	3	
ACCESSORIES	NO	3	
GRAB BARS	NO	3	
TURNING RADIUS	NO	3	
UNISEX 5			
TOILET	YES	5	
SINK	YES	5	
ACCESSORIES	YES	5	
GRAB BARS	NO		
TURNING RADIUS			

RICCI MIDDLE SCHOOL

NOTES:

- BAD ACOUSTICS IN GYM AND CAFETERIA
- PARENTS PARK ON STREET
- NEED ADDITIONAL STORAGE
- NO ADA SINK AT ART ROOM, SCIENCE ROOM AND TECH EDUCATION.
- THE SINGLE PLY MEMBRANE ROOF IS IN GOOD CONDITION EXCEPT AT "CATHEDRAL" ROOF CONNECTION.
- THE MODIFIED BITUMEN WITH GRANULAR SURFACE ROOF IS PAST ITS USEFUL PERFORMANCE LIFE.
- THERE IS ROOF PONDING, SEAMS HAVE FAILED.
- THERE IS EVIDENCE OF SATURATED INSULATION AND FAILED FLASHING, NON FUNCTIONING ROOF DRAINS.
- ORIGINAL BUILDINGS ROLLED ASPHALT ROOF HAS REACHED THE END OF ITS USEFUL LIVE. THE ROOF HAS EVIDENCE OF BLISTERING, SEAM FAILURE AND PONDING.
- FIRE CODE: SEE ATTACHMENT FOR FIRE CODE VIOLATIONS OF EXISTING, EGRESS LIGHTING, DOOR HARDWARE, FIRE ALARM, SPRINKLER SYSTEM, SMOKE DETECTOR, WINDOW SHADES AND DOOR PLEXIGLASS.

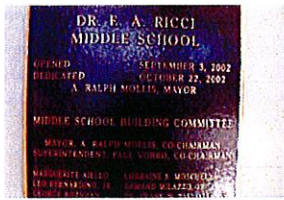
Ricci Middle School - MEP



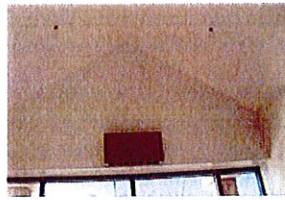
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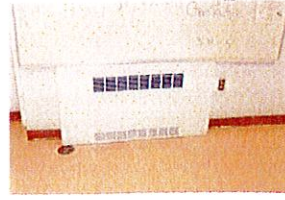
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GEDC0002



GEDC0003



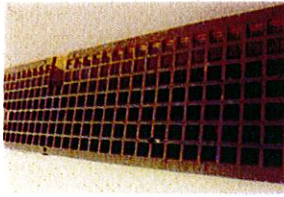
GEDC0004



GEDC0005



GEDC0006



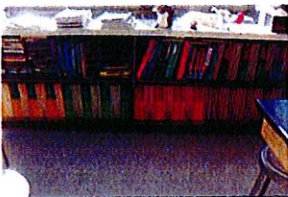
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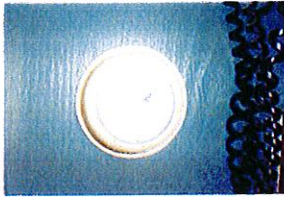
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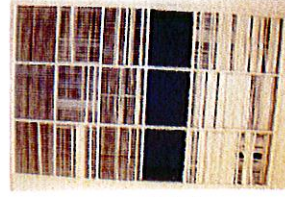
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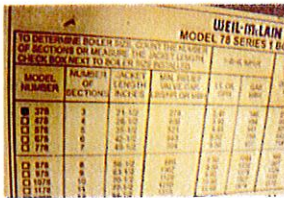
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GEDC0023



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GEDC0026



GEDC0027



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GEDC0029



GEDC0030



GEDC0031



GEDC0032



GEDC0033

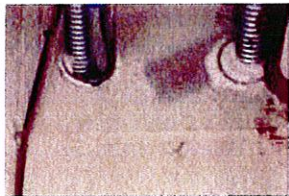


GEDC0034

Ricci Middle School - MEP



IMG_2922



IMG_2923



IMG_2924

ARCHITECTURAL FEASIBILITY STUDY

RICCI MIDDLE SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
- 3 - ACTION REQUIRED 4-5 YEARS
- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

ELECTRICAL

THE POWER, SIGNAL, LIGHTING, FIRE ALARM AND LIFE SAFETY SYSTEMS WERE UPGRADED IN 2000

THESE SYSTEMS APPEAR TO MEET CURRENT BUILDING, NATIONAL ELECTRICAL AND LIFE SAFETY CODES.

OBSERVATIONS:

A NEW ADDRESSABLE FIRE ALARM SYSTEM IS SCHEDULED TO BE INSTALLED
IN THE NEAR FUTURE.

RECOMMENDATIONS:

REGULAR MAINTENANCE TO THE POWER, SIGNAL, LIGHTING AND LIFE SAFETY SYSTEMS
IS REQUIRED FOR EXTENDED EQUIPMENT LIFE AND RELIABILITY.

	RATING	VOLTAGE	METERING	DATE OF INSTALLATION	CONDITIONS
SERVICE:	800A	208Y/120V	3PH, 4W	1968/81/2002	VERY GOOD

	TYPE	LOCATION	CONDITIONS
TRANSFORMER:	PADMOUNT	208Y/120V CONC PAD	1968/81/2002 VERY GOOD

UG

	RATING	ENERGY SOURCE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
EMERGENCY GENERATOR:	NONE				

	TYPE	DATE OF INSTALLATION	CONDITIONS
DISTRIBUTION SYSTEM:	CONDUCTORS I	1968/81/2002	VERY GOOD

IN CONDUIT

	GROUNDING / NON GROUNDING	DATE OF INSTALLATION	CONDITIONS
DEVICES:			
TYPICAL CLASSROOMS:	X	1968/81/2002	VERY GOOD
OFFICES:	X	1968/81/2002	VERY GOOD
GYM / CAFETERIA:	X	1968/81/2002	VERY GOOD
LOBBY / CORRIDOR:	X	1968/81/2002	VERY GOOD
TOILETS:	X	1968/81/2002	VERY GOOD

NOTES:

ARCHITECTURAL FEASIBILITY STUDY

RICCI MIDDLE SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
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- 4 - ACTION REQUIRED 5+ YEARS
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ELECTRICAL CONT.

LIGHTING	LAMP TYPE	MOUNTING	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	FLUORESCENT	PENDANTS	1968/81/2002	VERY GOOD
OFFICES:	FLUORESCENT	SURFACE	1968/81/2002	VERY GOOD
LIBRARY:	FLUORESCENT	PENDANTS	1968/81/2002	VERY GOOD
GYM / CAFETERIA:	TSHD	SUSPENDED	1968/81/2002	VERY GOOD
LOBBY / CORRIDOR:	FLUORESCENT	SURFACE	1968/81/2002	VERY GOOD
TOILETS:	FLUORESCENT	SURFACE/WALL	1968/81/2002	VERY GOOD
LIGHTING CONTROLS:	SWITCHING/SENSORS		1968/81/2002	VERY GOOD
THEATER LIGHTING SYSTEM::	N/A			

SITE LIGHTING:	LAMP TYPE:	MOUNTING	DATE OF INSTALLATION	CONDITIONS
SPORTS FIELDS:	METAL HALIDE	POLE TOP		
PARKING:	METAL HALIDE	POLE TOP	1968/81/2002	VERY GOOD
WALKWAYS:	N/A			
BUILDING ENTRANCES:	METAL HALIDE	WALL PACK	1968/81/2002	VERY GOOD

SECURITY SYSTEM:	TYPE:	MANUFACTURER:	DATE OF INSTALLATION	CONDITIONS
CCTV:	CAMERA	UNKNOWN		
DOOR ACCESS CONTROLS:	KEY FOB	UNKNOWN	1968/81/2002	FAIR
DETECTION DEVICES:	MOTION	UNKNOWN	1968/81/2002	FAIR

COMMUNICATIONS SYSTEM:	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
MASTER CLOCK / PROGRAM:	YES	UNKNOWN	1968/81/2002	VERY GOOD
TYPICAL CLASSROOMS:	P/A	UNKNOWN	1968/81/2002	VERY GOOD
OFFICES:	P/A	UNKNOWN	1968/81/2002	VERY GOOD
PUBLIC AREAS:	P/A	UNKNOWN	1968/81/2002	VERY GOOD

ARCHITECTURAL FEASIBILITY STUDY

RICCI MIDDLE SCHOOL

CONDITIONS, KEY CRITERIA:

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TELE/ DATA VIDEO SYSTEM	TYPE	MANUFACTURER	CCTV	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	HARDWIRE & WIFI	UNKNOWN	NO	1968/81/2002	VERY GOOD
OFFICES:	HARWIRE	UNKNOWN	NO	1968/81/2002	VERY GOOD
LIBRARY:	HARDWIRE & WIFI	UNKNOWN	NO	1968/81/2002	VERY GOOD
GYM/ CAFETERIA:	HARDWIIRE	UNKNOWN	NO	1968/81/2002	VERY GOOD

LOCAL SOUND SYSTEMS	TYPE	MANUFACTURER	CONTROLS	DATE OF INSTALLATION	CONDITIONS
GYM/ CAFETERIA	PA SYSTEM	UNKNOWN		1968/81/2002	VERY GOOD

	TYPE:	MANUFACTURER:	CONTROLS	DATE OF INSTALLATION	CONDITIONS
EMERGENCY LIGHTING:	LIGHTED	UNKNOWN	BATTERY B/U	1968/81/2002	VERY GOOD
EXIT LIGHTING:	LED	UNKNOWN	BATTERY B/U	1968/81/2002	VERY GOOD

	TYPE:	MANUFACTURER:	NOTIFICATIONS	DATE OF INSTALLATION	CONDITIONS
FIRE ALARM SYSTEM:	ADDRESSABLE	NOTIFIER	AUDIO/VISAUL	1968/81/2002	VERY GOOD

FIRE ALARM DEVICES	DETECTOR TYPE	ALARM SYGNAL TYPE	PULL STATION	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	HEAT DETECTION	AUDIO DEVICE		1968/81/2002	VERY GOOD
OFFICES:	HEAT DETECTION	NONE		1968/81/2002	VERY GOOD
LIBRARY:	HEAT DETECTION	NONE		1968/81/2002	VERY GOOD
AUDITORIUM / STAGE:	N/A				
GYM/ CAFETERIA:	SMOKE DETECTION	AUDIO/VISUAL	YES	1968/81/2002	VERY GOOD
LOBBY / CORRIDOR:	SMOKE DETECTION	AUDIO/VISUAL	YES	1968/81/2002	VERY GOOD
KITCHEN:		AUDIO/VISUAL		1968/81/2002	VERY GOOD
STORAGE / SERVICE:	N/A	NONE			
TOILETS IN ADDITION:	SMOKE DETECTION	AUDIO/VISAUL		2002	VERY GOOD

NOTES:

CLASSROOMS DO NOT HAVE EMERGENCY LIGHTING.
EXIST SIGNS APPEAR TO BE ADEQUATE.

ARCHITECTURAL FEASIBILITY STUDY**RICCI MIDDLE SCHOOL****CONDITIONS, KEY CRITERIA:**

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HEATING & VENTILATION - RICCI MIDDLE SCHOOL

CENTRALIZED SYSTEMS	ENERGY SOURCE	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
HEATING EQUIPMENT #1:	NAT GAS	BOILER - HW	WEIL McLAIN	1968	2 FAIR
HEATING EQUIPMENT #2:	NAT GAS	BOILER - HW	WEIL McLAIN	2002	5 GOOD
COOLING EQUIPMENT #1:	GAS/ELECT	PACKAGED RTU	TRANE	2002	3 FAIR
EXHAUST EQUIPMENT #1:	ELECT.	ROOF FAN	-	2002	3 FAIR

DISTRUBUTION SYSTEMS	SIZE	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
HEATING DISTRUBUTION EQUIPMENT:	PUMPS (5) - 1HP	INLINE	TACO	2002	5 GOOD
COOLING DISTRUBUTION EQUIPMENT:	VARIOUS < 10 TONS	PACKAGED RTU	TRANE	2002	3 FAIR
AIR DISTRIBUTION EQUIPMENT:	N/A	-	-	-	

TERMINAL EQUIPMENT	TYPE	MANUFACTURER	CONTROLS	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS (2002):	UNIT VENTILATORS	CONCEALED	ELECTRONIC	2002	5 GOOD
TYPICAL CLASSROOMS (1968):	HW BB	-	ELECTRONIC	1968	3 FAIR
OFFICES:	PKGD RTU	TRANE	ELECTRONIC	2002	3 FAIR
LIBRARY:	PKGD RTU	TRANE	ELECTRONIC	2002	3 FAIR
CIRCULATION:	CONV/GUH		ELECTRONIC	2002	3 FAIR
CAF/GYMNASIUM:	MUA UNIT	TRANE	ELECTRONIC	2002	3 FAIR

NOTES:

- 1) THERE ARE TWO BOILER ROOMS. MAIN BOILER ROOM WITH TWO LARGE WM BOILER (2200MBH OUT). SMALLER BOILER ROOM WITH TWO SMALL FROM OIL TO DUAL FUEL IN 2011. HW BOILER IS WEIL McLAIN 988 (2176MBH OUT) STEAM BOILER IS 678 (643MBH OUT).
- 2) AIR CONDITIONING IS PROVIDED IN THE LIBRARY AND OFFICES BY PACKAGED RTUS. AC IN THE COMPUTER ROOM IS VIA WINDOW AC.
- 3) NO BMS, ELECTRONIC THERMOSTATS.
- 3) A FRESH AIR SYSTEM APPARENTLY DESIGNED TO VENTILATE THE CORRIDORS APPEARS TO BE OFF OR IN DISREPAIR.
- 4) THERE IS A KITCHEN HOOD IN THE KITCHEN, NO APPARENT MAKE UP AIR TO HOOD OTHER THAN FROM THE CAF UNIT
- 5) GYM HAS A GAS FIRED MAKE UP AIR UNIT AND EXHAUST FANS. UNIT DOES NOT APPEAR TO BE EQUIPPED WITH RETURN AIR.
- 6) IT IS REPORTED THAT EXISTING THERMOSTATS ARE NOT COMPATIBLE WITH EXISTING VALVES. REPLACEMENT IS ONGOING.
- 7) INTERIOR CLASSROOMS IN THE FORMER ELEMENTARY HAVE NO MEANS OF PROVIDING FRESH AIR.

ARCHITECTURAL FEASIBILITY STUDY

RICCI MIDDLE SCHOOL

CONDITIONS, KEY CRITERIA:

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PLUMBING SYSTEM

SERVICE	PIPE SIZE	METER SIZE	PRESSURE REGULATOR	OPER PRESSURE	PIPE MATERIAL	SOURCE	AGE	MISCELLANEOUS
WATER:	4"	(2) 2"	N/A	75 PSI	COPPER	MUNICIPAL	N/A	METERS/BFP IN PARALLEL
GAS:	2"	2"	Y	4-5" W.C.	STEEL	UTILITY	N/A	

SYSTEM	PIPE MATERIAL/CONDITION	TYPE INSULATION/ CONDITION	MISCELLANEOUS
DOMESTIC COLD WATER:	COPPER	FIBERGLASS	
DOMESTIC HOT WATER:	COPPER	FIBERGLASS	
SANITARY WASTE & VENT:	CAST IRON		
STORM DRAINAGE:	CAST IRON		
GAS:	STEEL		
NON-POTABLE (LAB) CW:	N/A		
NON-POTABLE (LAB) HW:	N/A		
ACID (LAB) WASTE & VENT:	N/A		
KITCHEN WASTE:	N/A		
TEMPERED WATER:	N/A		

EQUIPMENT	TYPE/FUEL	AGE	CONDITION	MISCELLANEOUS
DOMESTIC WATER HEATER: 1	ATMOSPHERIC/GAS	2009	5	A.O. SMITH BT 65 200
DOMESTIC WATER HEATER: 2	ATMOSPHERIC/GAS	2012	5	A.O. SMITH GVC 50 300
DOMESTIC WATER HEATER: 3	BOILER - 3 STORAGE	N/A	5	A.O. SMITH BTP 700A WITH
	TANKS / GAS			(3) TJV 200A 200 GAL TANKS
SANITARY EJECTOR PUMP:	N/A			
STORM EJECTOR PUMP:	N/A			
DOMESTIC WATER BOOSTER PUMP:	N/A			
INTERIOR KITCHEN GREASE TPAP:	BIG DIPPER W-350-IS		4	LOCATED AT TRIPLE POT SINK

ARCHITECTURAL FEASIBILITY STUDY

RICCI MIDDLE SCHOOL

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PLUMBING SYSTEM CONT.

PLUMBING FIXTURES	TYPE/ INSTALLATION	LOW CONSUMPTION/ METERING	ACCESSIBLE	CONDITION	MISCELLANEOUS
WATER CLOSET:	FLUSH VALVE	NO		3	
URINAL:	FLUSH VALVE	NO		3	
LAVATORY:	WALL HUNG	NO		3	
DRINKING FOUNTAIN/WATER COOLER:	ELECTRIC WC	NO		5	
CLASSROOM SINK:	SELF RIMMING	NO		5	
CLASSROOM BUBBLER / DRINKING FOUNTAIN:	N/A				
MOP SINK:	N/A			3	
SHOWERS:					

MISCELLANEOUS FIXTURES	MISCELLANEOUS
HOSE BIBB:	
WALL HYDRANT:	5
FLOOR DRAIN:	
EMERGENCY SHOWER / EYEWASH:	N/A
EMERGENCY EYEWASH:	N/A
LAB FAUCETS:	N/A
LAB GAS COCKS:	N/A

NOTES:

IN GENERAL THE PLUMBING FIXTURES ARE IN FAIR TO GOOD CONDITION. SOME BATHROOMS WERE IN A STATE OF DISREPAIR AND IN NEED OF UPGRADES. THE WATER AND WASTE INFRASTRUCTURE APPEARS IN RELATIVELY GOOD CONDITION WITH NORMAL MAINTENANCE/REPAIR REQUIRED AS THE SYSTEMS CONTINUE TO AGE. THE WATER HEATER SYSTEMS ARE RELATIVELY NEW AND APPEAR IN GOOD WORKING CONDITION.

Ricci Middle School - Roof



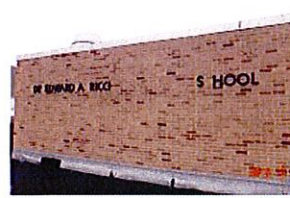
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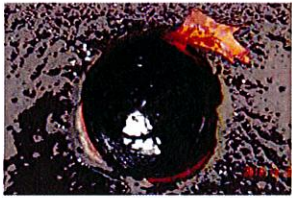
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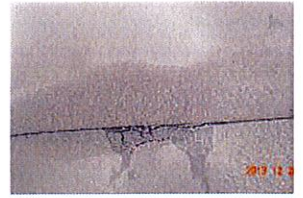
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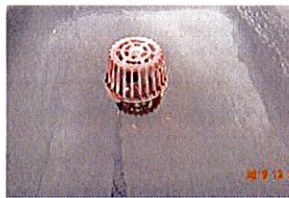
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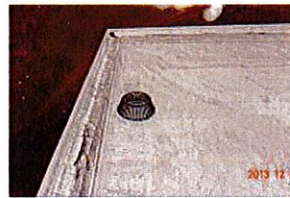
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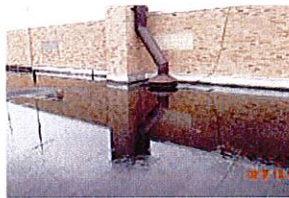
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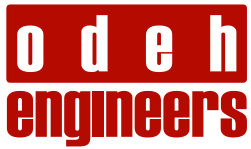
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1223 Mineral Spring Avenue
North Providence, Rhode Island 02904

January 2, 2014

Mr. Luis Torrado
L.A. Torrado Architects
35 Greenwich Street
Providence, Rhode Island 02907

RE: Dr. Edward A. Ricci Middle School Facilities Assessment - Structural

Transmitted via email (la.torrado@verizon.net)

Dear Luis:

Per your request, this office has conducted an inspection and assessment of the structural elements of the Dr. Edward A. Ricci Middle School buildings. The following is a summary of the investigation and recommendations.

Standard of Care and Use of Report

Please note that the results of this investigation are limited to visual observations of the accessible areas of the building only. While we have made our best efforts to investigate the building structure, many conditions were concealed by architectural finishes or were otherwise inaccessible, and therefore additional damage or other unforeseen conditions not included in this report may be present. The findings of this report therefore represent our best professional opinion based on the information available to us at this time. This report is for use by L.A. Torrado Architects and the North Providence School Department to assess the existing structural condition of the Dr. Edward A. Ricci Middle School buildings.

Actions Taken

Odeh Engineers, Inc. undertook the following actions to complete this structural assessment:

- On both December 18, 2013 and December 24, 2013, Odeh Engineers' Field Engineer, Paul Wilkinson, inspected and assessed the Dr. Edward A. Ricci Middle School buildings. Where encountered, the Field Engineer documented and photographed existing deficiencies in the structural elements of the building, or potential problem areas that could lead to structural deficiencies.
- Subsequent to the site visit, the Field Engineer reviewed his observations, findings and photographs with Principal Engineer, M. David Odeh, P.E.
- Odeh Engineers has prepared this written summary of findings and recommendations.

Phone: 401.724.1771

Fax: 401.724.1981

Documents Reviewed

There were no structural drawings for the Dr. Edward A. Ricci Middle School buildings made available to Odeh Engineers at the time of authoring this structural assessment report.

Key Plan



FIGURE 1 – *This photograph is an aerial image of the Dr. Edward A. Ricci Middle School buildings. Note that north is vertically up in this image.*

Summary of Existing Conditions

The Dr. Edward A. Ricci Middle School buildings appeared to be in good structural condition with the exception of the following structural deficiencies and/or potential problem areas:

1. It was reported to Odeh Engineers that there have been long-term roof leaks in the foyer at the main entrance to the school building. (Please refer to the Photos #1 and #2 below.) **Comments and Recommendations:** *Odeh Engineers did not observe any structural distress or deterioration resulting from this reported roof leak. Odeh Engineers recommends that the roof leak be repaired as soon as possible to prevent possible damages to the building structure and to stop the on-going damage to the interior architectural finishes.*



PHOTO #1 – *This photograph shows the water-staining of the acoustical ceiling tile in the foyer at the main entrance to the Dr. Edward A. Ricci Middle School building.*



PHOTO #2 – *This photograph shows the good condition of the steel roof framing above the location of the roof leak in the foyer at the main entrance to the school building.*

2. There is widespread ponding of water on the flat roofs of the Ricci Middle School buildings. (Please refer to the Photos #3 and #4 below.) **Comments and Recommendations:** *Although there was no visual evidence of structural distress, ponding of water on the roof of a building can cause the roof structure to sag due to the weight of the water. As the roof sags, more water can become entrapped in the low spot of the roof, causing additional sagging. The roof structure should be adequately pitched, or tapered insulation below the roof membrane must be installed, to allow the water to flow to the roof drains.*



PHOTO #3 – *This photograph shows the ponding of water on the flat roof adjacent to the cafeteria at the Ricci Middle School building.*



PHOTO #4 – *This photograph shows the ponding of water on the flat roof near the eastern end of the Ricci Middle School building.*

3. Several of the grates for the roof drains are missing. (Please refer to the Photos #5 and #6 below.) **Comments and Recommendations:** *The grates for the roof drains must be properly installed and in good working condition to prevent the roof drains from becoming clogged.*



PHOTO #5 – *This photograph shows one of the roof drains without the grate to prevent debris from clogging the drain.*



PHOTO #6 – *This photograph shows another of the many missing grates over a roof drain at the Dr. Edward A. Ricci Middle School building.*

4. The black, rolled asphalt sheet roofing membrane on the flat roofs of the Ricci Middle School building has many blisters and cracks. (Please refer to the Photos #7 and #8 below.) **Comments and Recommendations:** *The rolled asphalt sheet roofing membrane appears to have reached the end of its useful life. Odeh Engineers recommends that the roofing membrane be evaluated by a roofing consultant.*



PHOTO #7 – *This photograph shows one of the many blisters in the rolled asphalt roofing membrane on the flat roofs of the Ricci Middle School building.*



PHOTO #8 – *This photograph shows another of the blisters and a cracked seam of the rolled asphalt sheet roofing at the Ricci Middle School building.*

We trust that this report meets your needs at this time. Should you wish to proceed with a more detailed study or design, Odeh Engineers would be pleased to provide these additional services for the project. In the meantime, please do not hesitate to contact this office if you have any questions or require additional information.

Sincerely,



M. David Odeh, P.E.
Principal



Paul Wilkinson
Field Engineer

DRAFT

Leonard A. Albanese Jr.
Chief of Department



Lt. John P. Horan
Fire Marshal

North Providence Fire Department

1951 Mineral Spring Avenue North Providence, R.I. 02904
Phone: 231-8505 Ext. 304 Fax: 233-1460 E-Mail: firemarshal@northprovidenceri.gov

August 16, 2013

Melinda Smith, Superintendent of Schools
2240 Mineral Spring Avenue
North Providence, RI 02911

RE: Ricci Middle School

Superintendent Smith,

The following is a list of violations which were discovered during our annual inspection of Ricci Middle School, 55 Intervale Ave.

1. The regular lighting over the egress doors are in need of repair or replacement.
2. The strobe in the boys bathroom is broken
3. The caps on the Fire Department Connection are missing
4. The following doors need repair;
 - a. The door in the back corner of the gymnasium is in need of repair, when the panic bar is pushed the lower latch is getting hung up.
5. The existing fire alarm system does not meet the code and shall be repaired as necessary
 - a. There are at least two different types of Horn/ Strobes or horn lights throughout the building. There can only be one type and they shall all be synchronized.
6. An exit inspection program as well as an emergency light/exit sign inspection program shall be implemented. A log book documenting these programs shall be provided. There are multiple exit sign batteries that are dead as well as emergency lighting throughout the building that are out. Some of the emergency lighting the heads are broken off the base. These need to be replaced.

I believe a lot of this can be addressed prior to the upcoming start of school. Whatever cannot be taken care of will be put into a violation letter with provisions to go to the RI Fire Code Board of Appeal and Review for time extensions.

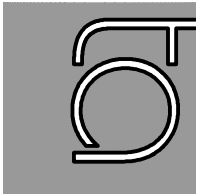
Respectfully Submitted,

A handwritten signature in black ink, appearing to read "Lt. John P. Horan", is written over a horizontal line.

Lt. John P. Horan
Fire Marshal

BIRCHWOOD MIDDLE SCHOOL
10 BIRCHWOOD DRIVE NORTH PROVIDENCE, RI 02904

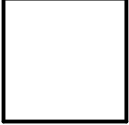




TORADO
ARCHITECTS

28 BIRCHWOOD BL.
PROVIDENCE, RI 02907
401.781.1555 P
401.781.1555 F

KEY PLAN



RENOVATIONS TO:

**NORTH
PROVIDENCE
PUBLIC
SCHOOLS**

**FACILITY
ASSESSMENT
PROJECT 2013**

**BIRCHWOOD
MIDDLE
SCHOOL**

10 BIRCHWOOD DRIVE
NORTH PROVIDENCE RI 02911

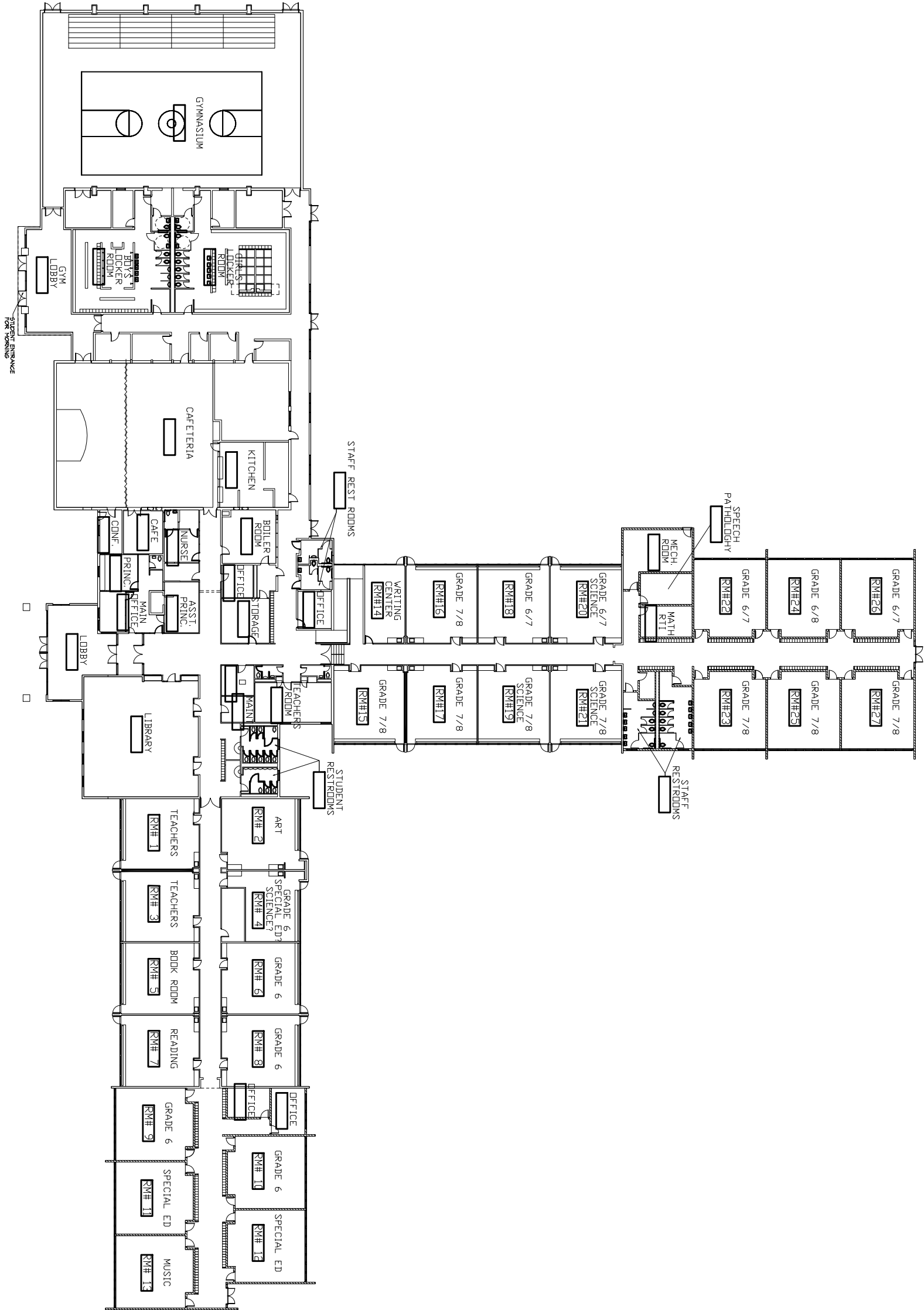
DATE	REV.	DESCRIPTION
06 JANUARY 2014	L.T.	AS NOTED
06 JANUARY 2014	L.T.	AS NOTED

REVISIONS

DATE	06 JANUARY 2014
BY	L.T.
CHECKED BY	AS NOTED
DATE	06 JANUARY 2014

A-1.0B

ALL DRAWINGS, PLANS, REPORTS, SPECIFICATIONS, COMPUTER DATA, FIELD FIELD NOTES, AND ALL OTHER DOCUMENTS PREPARED BY L.A. TORRADO ARCHITECTS, A CORPORATION, AS INSTRUMENTS OF SERVICE, SHALL REMAIN THE PROPERTY OF L.A. TORRADO ARCHITECTS, A CORPORATION. L.A. TORRADO ARCHITECTS, A CORPORATION SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT, THEREIN.



FLOOR PLAN
Scale: 1/8" = 1'-0"

CAPACITY ANALYSIS						
NORTH PROVIDENCE PUBLIC SCHOOLS						
BIRCHWOOD MIDDLE SCHOOL				6-8 GRADE		
ROOM NUMBER	USE		SIZE SQ.FT.	ROOM CAPACITY	CODE CAPACITY	SIZE PER RIDE
	CURRENT USE	ROOM				
MAIN LEVEL						
1	TEACHERS	-	816	-	40	
2	ART	CLASSROOM	826	25	41	1,350
3	TEACHERS	-	814	-		
4	GRADE 6 SCIENCE	CLASSROOM	626	25	31	1,200
5	BOOK ROOM	-	825	-		400
6	GRADE 6	CLASSROOM	825	25	41	950
7	READING	CLASSROOM	825	25	41	950
8	GRADE 6	CLASSROOM	825	25	41	950
	OFFICE	-	185	-		
	OFFICE	-	235	-		
9	GRADE 6	CLASSROOM	806	25	40	950
10	GRADE 6	CLASSROOM	806	25	40	950
11	SPECIAL ED	CLASSROOM	806	11	40	950
12	SPECIAL ED	CLASSROOM	806	11	40	950
13	MUSIC	CLASSROOM	806	25	40	1,700
	BOYS LAVATORY	-	139	-		
	GIRLS LAVATORY	-	193	-		
	MAINTANCE OFFICE	-	127	-		1,375
	OFFICE	-	147	-		
	LIBRARY	-	2,032		101	2,680
	LOBBY	-	768	-		
	MAIN OFFICE	OFFICE	282	-		
	ASST. PRINCIPAL	OFFICE	264	-		
	NURSE	OFFICE	273	-		510
	PRINCIPAL	OFFICE	204	-		
	CAFÉ	-	255	-		
	CONFERENCE ROOM	-	147	-		
	CAFETERIA	-	3,400	-		3,900
	KITCHEN	-	675	-		1,700
	BOILER ROOM	-	430	-		
	OFFICE	OFFICE	156	-		
	STORAGE	-	323	-		
	GIRLS LOCKER ROOM	-	1,504	-		
	BOYS LOCKER ROOM	-	1,286	-		
	GYM LOBBY	-	923	-		
	GYMNASIUM		7,360			6,150
	STAFF REST ROOMS	-	229	-		
	OFFICE	-	186	-		
	TEACHERS ROOM	-	457	-		
14	WRITING CENTER	CLASSROOM	470		23	950
15	GRADE 7/8	CLASSROOM	815	25	40	950
16	GRADE 7/8	CLASSROOM	818	25	40	950
17	GRADE 7/8	CLASSROOM	810	25	40	950
18	GRADE 6/7	CLASSROOM	823	25	40	950
19	GRADE 7/8 SCIENCE	CLASSROOM	823	25	40	1,200
20	GRADE 6/7 SCIENCE	CLASSROOM	823	25	40	1,200
21	GRADE 7/8 SCIENCE	CLASSROOM	823	25	40	1,200
	MECHANICAL ROOM	-	476	-		

CAPACITY ANALYSIS						
NORTH PROVIDENCE PUBLIC SCHOOLS						
BIRCHWOOD MIDDLE SCHOOL				6-8 GRADE		
ROOM NUMBER	USE		SIZE SQ.FT.	ROOM CAPACITY	CODE CAPACITY	SIZE PER RIDE
	CURRENT USE	ROOM				
	SPEECH PATHOLOGY	CLASSROOM	240	-		
	MATH RTI	CLASSROOM	240	-		
	STAFF REST ROOMS	-	583	-		
22	GRADE 6/7	CLASSROOM	806	25	40	950
23	GRADE 7/8	CLASSROOM	806	25	40	950
24	GRADE 6/8	CLASSROOM	806	25	40	950
25	GRADE 7/8	CLASSROOM	806	25	40	950
26	GRADE 6/7	CLASSROOM	806	25	40	950
27	GRADE 7/8	CLASSROOM	806	25	40	950
	TOTAL BUILDING SQ.FT.		61,383			
	CURRENT ENROLLMENT:		364			
	TOTAL CAPACITY:		547	X 85% = 464		
	85% UTILIZATION		464			
	SQ. FT. PER STUDENT:		168	(AT CURRENT ENROLLMENT)		
			132	(AT CAPACITY)		

Birchwood Middle School



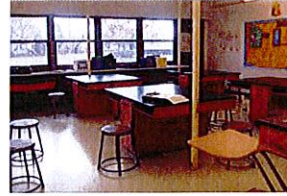
BIRCHWOOD



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RESTROOM (2)



RESTROOM

ARCHITECTURAL FEASIBILITY STUDY

BIRCHWOOD MIDDLE SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
- 3 - ACTION REQUIRED 4-5 YEARS
- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

GENERAL INFORMATION

NAME OF SCHOOL: BIRCHWOOD MIDDLE SCHOOL

PRINCIPAL: STEVE CLARKE

ADDRESS: 10 BIRCHWOOD DRIVE, NORTH PROVIDENCE, RI 02904

OWNER: NORTH PROVIDENCE SCHOOL DEPARTMENT

GRADE LEVELS: 6 THROUGH 8

STUDENT POPULATION: 364

STUDENT CAPACITY: 464

YEAR CONSTRUCTED: 1966

ADDITIONS: 2002

CONSTRUCTION DATA:

STATE BUILDING CODE / CONSTRUCTION TYPE	
ORIGINAL BUILDING:	IIB
FIRST ADDITION:	IIB
SECOND ADDITION:	N/A
OCCUPANCY GROUP:	E
SUB - BASEMENT:	N/A
BASEMENT:	N/A
GRADE LEVEL:	N/A
SECOND FLOOR:	N/A
THIRD FLOOR:	N/A

NUMBER OF STORIES	
ORIGINAL BUILDING:	1
FIRST ADDITION:	1
SECOND ADDITION:	N/A

ARCHITECTURAL FEASIBILITY STUDY**BIRCHWOOD MIDDLE SCHOOL****CONDITIONS, KEY CRITERIA:**

- 1 - IMMEDIATE ACTION REQUIRED
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INTERIOR FINISHES

	FLOOR FINISH	CONDITIONS	WALL FINISH	CONDITIONS	CEILING FINISH	CONDITIONS
TYPICAL CLASSROOMS	VCT	5	CMU	5	SAT	5
GYM	WD	5	CMU	5	OPEN	5
GYM LOCKER ROOMS	CT	5	CMU	5	SAT	5
LOCKER ROOMS	CT	5	CMU	5	SAT	5
AUDITORIUM	N/A					
CAFETERIA	VCT	5	CMU	5	OPEN	5
LIBRARY	VCT	5	CMU	5	SAT	5
OFFICES	VCT	5	GYP	5	SAT	5
TEACHER LOUNGE	VCT	5	GYP	5	SAT	5
TOILETS	CT	3/5	CT CMU	3/5	GYP	3/5
CORRIDORS	VCT	5	CMU	5	SAT	5
LOBBIES	VCT	5	CMU	5	SAT	5
VESTIBULE						
STAIRS						
KITCHEN						
MECHANICAL/SERVICE						

INTERIOR ELEMENTS

	MATERIAL	CONDITION	REMARKS
INTERIOR DOORS	MTL/WD	5	
HARDWARE		5	
TOILET STALLS		5	
COUNTER/CABINETS	PL	5	
TEACHERS WARDROBE	PL	5	

ABBREVIATIONS

SAT	SUSPENDED ACOUSTICAL TILE	CONC	CONCRETE
VCT	VINYL COMPOSITE TILE	CMU	CONCRETE MASONRY UNIT
ACT	ASBESTOS COMPOSITE TILE	GYP BD	GYPSUM BOARD
CT	CERAMIC TILE	PTD	PAINTED
PL	PLASTIC LAMINATE	BIT	BITUMINOUS PAVING
WD	WOOD	ALUM	ALUMINUM
MTL	METAL	N/A	NOT APPLICABLE
		RT	RUBBER TILE

ARCHITECTURAL FEASIBILITY STUDY

BIRCHWOOD MIDDLE SCHOOL

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PROVISIONS FOR ACCESSIBILITY

EXTERIOR ACCESSIBLE ROUTE	
ACCESSIBLE ROUTE:	

	COMPLIANCE	REMARKS
PRIMARY ENTRANCE:	YES	
EXTERIOR/ EGRESS DOORS:	YES	
SIGNAGE:	YES	

INTERIOR ACCESSIBLE ROUTE	COMPLIANCE	REMARKS
ACCESSIBLE ROUTE:	YES	
ENTRANCE VESTIBULES:	YES	
SIGNAGE:	YES	
OFFICES:	YES	
LIBRARY:	YES	
AUDITORIUM	YES	
CAFETERIA:	YES	
CROSS- CORRIDOR:	YES	
STAIRS:	YES	
HARDWARE:	YES	
ADMINISTRATION:	YES	
GYMNASIUM:	YES	
LOCKER ROOM:	YES	
CLASSROOM DOORS:	YES	
DRINKING FOUNTAINS	YES	
CLASSROOM SINKS:	NO	

CONDITIONS				
VERTICAL ACCESS:	N/A			
(ELEVATORS / LIFTS)				

	FLOOR SURFACE	HANDRAIL / GUARD HEIGHTS	CONDITIONS
STAIRWAYS:	N/A		
RAMPS:			

ARCHITECTURAL FEASIBILITY STUDY

BIRCHWOOD MIDDLE SCHOOL

CONDITIONS, KEY CRITERIA:

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PROVISIONS FOR ACCESSIBILITY CONT.**CLINIC:**

REQUIRED CLINIC AREAS/ ASSEMBLIES	COMPLIANCE	CONDITIONS	REMARKS
WAITING AREA:	X		
PRIVATE MEETING AREA:	X		
EXAMINATION AREA:	X		
REST ROOM:	X		

KITCHEN:

REQUIRED KITCHEN AREAS/ ASSEMBLIES	COMPLIANCE	CONDITIONS	REMARKS
WASHABLE SURFACES:	X		
HAND SINK:	X		
REST ROOM:	X		

CLASSROOM EGRESS:

	COMPLIANCE	CONDITIONS	REMARKS
EMERGENCY RESCUE WINDOW:	X		
DOORS BETWEEN CLASSROOMS:	X		

ARCHITECTURAL FEASIBILITY STUDY

BIRCHWOOD MIDDLE SCHOOL

CONDITIONS, KEY CRITERIA:

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SITE DATA:

	DESCRIPTION
LOT AREA:	
LAND USED:	

	MATERIALS	CONDITIONS	REMARKS
PARKING LOT:	BIT	5	
SIGNAGE:	WD/ALUM	5	
BUS DROP OFF:	BIT	5	
BUS PICK UP:	BIT	5	
PARENT DROP:	BIT	5	
PARENT PICK UP:	BIT	5	
LOADING/SERVICE AREA:	BIT	5	
TRASH AREA:	BIT	5	

SITE ACCESSIBILITY DATA:

	COMPLIANCE	REMARKS
PARKING:	YES	
CURB CUTS:	YES	
RAMPS:	YES	
WALKWAYS:	YES	

ARCHITECTURAL FEASIBILITY STUDY

BIRCHWOOD MIDDLE SCHOOL

CONDITIONS, KEY CRITERIA:

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BUILDING SYSTEMS AND ASSEMBLIES OF ORIGINAL BUILDINGS CON'**EXTERIOR**

EXTERIOR ENVELOPE	MATERIAL	CONDITIONS	REMARKS
WALL ASSEMBLY:			
ORIGINAL BUILDING:	BRICK	5	
ADDITION:	CMU	4	
ROOF ASSEMBLY:			PORTION OF ROOF HAS FAILED
ORIGINAL BUILDING:		5	SEE NOTE
ADDITION:		5	SEE NOTE
WINDOWS:			
ORIGINAL BUILDING:	ALUM	5	
ADDITION:	ALUM	5	
EXTERIOR DOORS:	MTL/ALUM	5	
ORIGINAL BUILDING:	MTL/ALUM	5	
ADDITION:	MTL/ALUM	5	

ARCHITECTURAL FEASIBILITY STUDY

BIRCHWOOD MIDDLE SCHOOL

CONDITIONS, KEY CRITERIA:

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SECURITY

	PROVIDED	NOT PROVIDED	REMARKS
SCHOOL SIGN:	√		
MAIN ENTRANCE IDENTIFICATION:		X	
EXTERIOR DOOR IDENTIFICATION:		X	
PASSIVE SECURITY:	√		
ACTIVE SECURITY:	√		
EXTERIOR CAMERAS:		X	
INTERIOR CAMERAS:		X	
DOOR FOB:		X	
SENSORS:	X		
CLASS ROOM LOCKDOWN:	X		
CLASS ROOM CONNECTING DOOR:		X	

ARCHITECTURAL FEASIBILITY STUDY

BIRCHWOOD MIDDLE SCHOOL

ACCESSIBLE**RESTROOMS**

	COMPLIANCE	CONDITIONS	REMARKS
MEN 1			
TOILET	NO		
SINK	NO		
ACCESSORIES	NO		
GRAB BARS	NO		
TURNING RADIUS	NO		
WOMEN 2			
TOILET	NO		
SINK	NO		
ACCESSORIES	NO		
GRAB BARS	NO		
TURNING RADIUS	NO		
MEN 3			
TOILET	YES		
SINK	YES		
ACCESSORIES	YES		
GRAB BARS	YES		
TURNING RADIUS	YES		
WOMEN 4			
TOILET	YES		
SINK	YES		
ACCESSORIES	YES		
GRAB BARS	YES		
TURNING RADIUS	YES		
BOYS 5			
TOILET	YES		
SINK	YES		
ACCESSORIES	YES		
GRAB BARS	YES		
TURNING RADIUS	YES		
GIRLS 6			
TOILET	YES		
SINK	YES		
ACCESSORIES	YES		
GRAB BARS	YES		
TURNING RADIUS	YES		

BIRCHWOOD MIDDLE SCHOOL

	COMPLIANCE	CONDITIONS	REMARKS
Boys 7			
TOILET	YES		
SINK	YES		
ACCESSORIES	YES		
GRAB BARS	YES		
TURNING RADIUS	YES		
GIRLS 8			
TOILET	YES		
SINK	YES		
ACCESSORIES	YES		
GRAB BARS	YES		
TURNING RADIUS	YES		

BIRCHWOOD MIDDLE SCHOOL

NOTES:

- NO LOADING DUCT
- VERY NARROW MAIN CORRIDOR
- CAFETERIA VERY NOISY
- GYM HAS BAD ACOUSTICS
- NOT ADA SINK AT ART OR SCIENCE ROOMS
- THE MODIFIED BITUMEN WITH GRANULAR SURFACE ROOF IS PAST ITS USEFUL PERFORMANCE LIFE.
- THERE IS ROOF PONDING, SEAMS HAVE FAILED.
- THERE IS EVIDENCE OF SATURATED INSULATION AND FAILED FLASHING, NON FUNCTIONING ROOF DRAINS.
- ORIGINAL BUILDINGS ROLLED ASPHALT ROOF HAS REACHED THE END OF ITS USEFUL LIVE. THE ROOF HAS EVIDENCE OF BLISTERING, SEAM FAILURE AND PONDING.
- FIRE CODE: SEE ATTACHMENT FOR FIRE CODE VIOLATIONS OF EXISTING, EGRESS LIGHTING, DOOR HARDWARE, FIRE ALARM, SPRINKLER SYSTEM, SMOKE DETECTOR, WINDOW SHADES AND DOOR PLEXIGLASS.

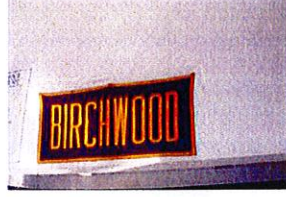
Birchwood Middle School - MEP



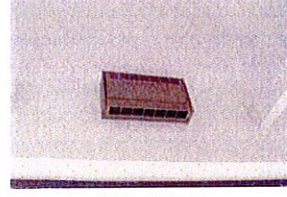
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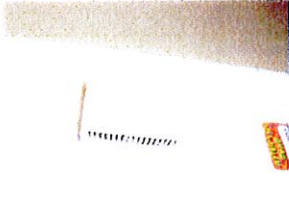
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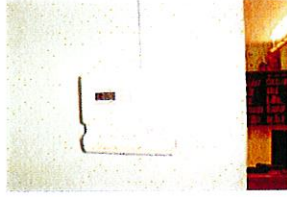
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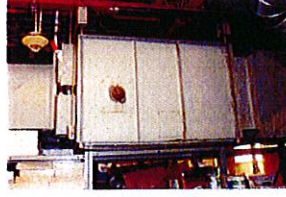
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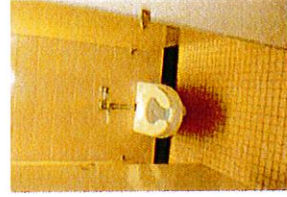
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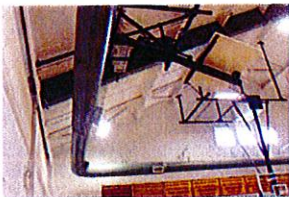
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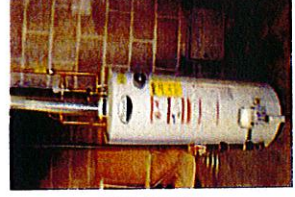
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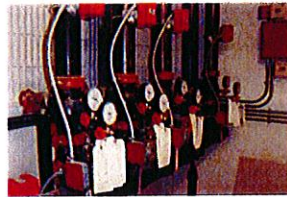
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GEDC0097



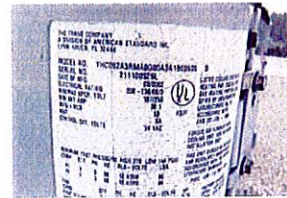
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GEDC0100



GEDC0101



GEDC0102



GEDC0103

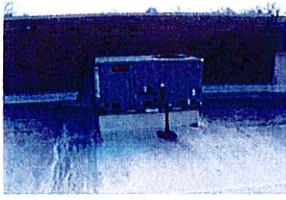


GEDC0104

Birchwood Middle School - MEP



GEDC0105



GEDC0106



GEDC0107



GEDC0108



GEDC0109



GEDC0110

ARCHITECTURAL FEASIBILITY STUDY

BIRCHWOOD MIDDLE SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
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- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

ELECTRICAL

THE POWER, SIGNAL, LIGHTING, FIRE ALARM AND LIFE SAFETY SYSTEMS WERE UPGRADED IN 2000

THESE SYSTEMS APPEAR TO MEET CURRENT BUILDING, NATIONAL ELECTRICAL AND LIFE SAFETY CODES.

OBSERVATIONS:

A NEW ADDRESSABLE FIRE ALARM SYSTEM IS SCHEDULED TO BE INSTALLED
IN THE NEAR FUTURE.

RECOMMENDATIONS:

REGULAR MAINTENANCE TO THE POWER, SIGNAL, LIGHTING AND LIFE SAFETY SYSTEMS
IS REQUIRED FOR EXTENDED EQUIPMENT LIFE AND RELIABILITY.

	RATING	VOLTAGE	METERING	DATE OF INSTALLATION	CONDITIONS
SERVICE:	800A	208Y/120V	3PH, 4W	1968/2006	VERY GOOD

	TYPE	LOCATION	CONDITIONS
TRANSFORMER:	PADMOUNT	208Y/120V CONC PAD	1968/2006 VERY GOOD

UG

	RATING	ENERGY SOURCE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
EMERGENCY GENERATOR:	NONE				

	TYPE	DATE OF INSTALLATION	CONDITIONS
DISTRIBUTION SYSTEM:	CONDUCTORS IN CONDUIT	1968/2006	VERY GOOD

	GROUNDING / NON GROUNDING	DATE OF INSTALLATION	CONDITIONS
DEVICES:			
TYPICAL CLASSROOMS:	X	1968/2006	VERY GOOD
OFFICES:	X	1968/2006	VERY GOOD
GYM / CAFETERIA:	X	1968/2006	VERY GOOD
LOBBY / CORRIDOR:	X	1968/2006	VERY GOOD
TOILETS:	X	1968/2006	VERY GOOD

ARCHITECTURAL FEASIBILITY STUDY**BIRCHWOOD MIDDLE SCHOOL****CONDITIONS, KEY CRITERIA:**

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
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- 4 - ACTION REQUIRED 5+ YEARS
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ELECTRICAL CONT.

LIGHTING	LAMP TYPE	MOUNTING	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	D/I FLUORESCENT	SUSPENDED	2006	VERY GOOD
OFFICES:	FLUORESCENT	RECESSED	2006	VERY GOOD
LIBRARY:	FLUORESCENT	SURFACE	2006	VERY GOOD
GYM / CAFETERIA:	T5HO	SUSPENDED	2006	VERY GOOD
LOBBY / CORRIDOR:	FLUORESCENT	SURFACE	2006	VERY GOOD
TOILETS:	FLUORESCENT	SURFACE	2006	VERY GOOD
LIGHTING CONTROLS:	SWITCHING/SENSORS		2006	VERY GOOD
THEATER LIGHTING SYSTEM::	N/A			

SITE LIGHTING:	LAMP TYPE:	MOUNTING	DATE OF INSTALLATION	CONDITIONS
SPORTS FIELDS:	N/A			
PARKING:	METAL HALIDE	POLE TOP	2006	VERY GOOD
WALKWAYS:	METAL HALIDE	WALL PACK	2006	VERY GOOD
BUILDING ENTRANCES:	HIGH PRES/ SOD	WALL PACK	2006	VERY GOOD

SECURITY SYSTEM:	TYPE:	MANUFACTURER:	DATE OF INSTALLATION	CONDITIONS
CCTV:	CAMERA	UNKNOWN		
DOOR ACCESS CONTROLS:	KEY FOB	ADP	2006	FAIR
DETECTION DEVICES:	MOTION	ADP	2006	FAIR

COMMUNICATIONS SYSTEM:	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
MASTER CLOCK / PROGRAM:	YES	SAPLING	2000	VERY GOOD
TYPICAL CLASSROOMS:	P/A	UNKNOWN	2000	VERY GOOD
OFFICES:	P/A	UNKNOWN	2000	VERY GOOD
PUBLIC AREAS:	P/A	UNKNOWN	2000	VERY GOOD

ARCHITECTURAL FEASIBILITY STUDY**BIRCHWOOD MIDDLE SCHOOL****CONDITIONS, KEY CRITERIA:**

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TELE/ DATA VIDEO SYSTEM	TYPE	MANUFACTURER	CCTV	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	HARDWIRE & WIFI	UNKNOWN	NO	2006	VERY GOOD
OFFICES:	HARWIRE	UNKNOWN	NO	2006	VERY GOOD
LIBRARY:	HARDWIRE & WIFI	UNKNOWN	NO	2006	VERY GOOD
GYM/ CAFETERIA:	NONE				

LOCAL SOUND SYSTEMS	TYPE	MANUFACTURER	CONTROLS	DATE OF INSTALLATION	CONDITIONS
GYM/ CAFETERIA	PA SYSTEM	UNKNOWN		2006	VERY GOOD

	TYPE:	MANUFACTURER:	CONTROLS	DATE OF INSTALLATION	CONDITIONS
EMERGENCY LIGHTING:	LIGHTED	UNKNOWN	BATTERY B/U	2006	VERY GOOD
EXIT LIGHTING:	LED	UNKNOWN	BATTERY B/U	2006	VERY GOOD

	TYPE:	MANUFACTURER:	NOTIFICATIONS	DATE OF INSTALLATION	CONDITIONS
FIRE ALARM SYSTEM:	CONVENTIONAL	NOTIFIER	AUDIO/VISUAL	2006	VERY GOOD

FIRE ALARM DEVICES	DETECTOR TYPE	ALARM SYGNAL TYPE	PULL STATION	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	HEAT DETECTION	NONE		2006	VERY GOOD
OFFICES:	HEAT DETECTION	NONE		2006	VERY GOOD
LIBRARY:	HEAT DETECTION	NONE		2006	VERY GOOD
AUDITORIUM / STAGE:	N/A			2006	VERY GOOD
GYM/ CAFETERIA:	SMOKE DETECTION	AUDIO/VISUAL	YES	2006	VERY GOOD
LOBBY / CORRIDOR:	SMOKE DETECTION	AUDIO/VISUAL	YES	2006	VERY GOOD
KITCHEN:	N/A				
STORAGE / SERVICE:	N/A	NONE			
TOILETS:	SMOKE DETECTION	NONE		2006	VERY GOOD

NOTES:

CLASSROOMS DO NOT HAVE FIRE ALARM STROBE DEVICES OR EMERGENCY LIGHTING.
EXIST SIGNS APPEAR TO BE ADEQUATE.

ARCHITECTURAL FEASIBILITY STUDY**SECTION 15500****CONDITIONS, KEY CRITERIA:**

- 1 - IMMEDIATE ACTION REQUIRED
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- 3 - ACTION REQUIRED 4-5 YEARS
- 4 - ACTION REQUIRED 5+ YEARS
- 5 - MONITOR FOR FUTURE MAINTENANCE

HEATING & VENTILATION - BIRCHWOOD MIDDLE SCHOOL

CENTRALIZED SYSTEMS	ENERGY SOURCE	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
HEATING EQUIPMENT #1:	NAT GAS	BOILER - HW	WEIL McLAIN	2002	5 GOOD
HEATING EQUIPMENT #2:	NAT GAS	BOILER - HW	WEIL McLAIN	2004	5 GOOD
COOLING EQUIPMENT #1:	GAS/ELECT	PACKAGED RTU	TRANE	2002	3 FAIR
EXHAUST EQUIPMENT #1:	ELECT.	ROOF FAN	-	2002	3 FAIR

DISTRIBUTION SYSTEMS	SIZE	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
HEATING DISTRIBUTION EQUIPMENT:	PUMPS (7) - 1 HP	INLINE	TACO	2002	5 GOOD
COOLING DISTRIBUTION EQUIPMENT:	VARIOUS < 10 TONS	PACKAGED RTU	TRANE	2002	3 FAIR
AIR DISTRIBUTION EQUIPMENT:	N/A	-	-	-	-

TERMINAL EQUIPMENT	TYPE	MANUFACTURER	CONTROLS	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS (2002):	UNIT VENTILATORS	CONCEALED	ELECTRONIC	2002	5 GOOD
TYPICAL CLASSROOMS (1968):	HW BB	-	ELECTRONIC	1968	3 FAIR
OFFICES:	PKGD RTU	TRANE	ELECTRONIC	2002	3 FAIR
LIBRARY:	PKGD RTU	TRANE	ELECTRONIC	2002	3 FAIR
CIRCULATION:	CONV/GUH		ELECTRONIC	2002	3 FAIR
CAF/GYMNASIUM:	MUA UNIT	TRANE	ELECTRONIC	2002	3 FAIR

NOTES:

- 1) THERE ARE TWO BOILER ROOMS. MAIN BOILER ROOM WITH LARGE WM BOILER 1288 (3000MBH OUT). SMALLER BOILER ROOM WITH TWO SM FROM OIL TO DUAL FUEL IN 2011. HW BOILER IS WEIL McLAIN 988 (2176MBH OUT) STEAM BOILER IS 678 (643MBH OUT).
- 2) AIR CONDITIONING IS PROVIDED IN THE LIBRARY AND OFFICES BY PACKAGED RTUS. AC IN THE COMPUTER ROOM IS VIA WINDOW AC.
- 3) NO BMS, ELECTRONIC THERMOSTATS.
- 3) A FRESH AIR SYSTEM APPARENTLY DESIGNED TO VENTILATE THE CORRIDORS APPEARS TO BE OFF OR IN DISREPAIR.
- 4) THERE IS A KITCHEN HOOD IN THE KITCHEN, NO APPARENT MAKE UP AIR TO HOOD OTHER THAN FROM THE CAF UNIT
- 5) GYM HAS A GAS FIRED MAKE UP AIR UNIT AND EXHAUST FANS. UNIT DOES NOT APPEAR TO BE EQUIPPED WITH RETURN AIR.
- 6) INTERIOR CLASSROOMS IN THE FORMER ELEMENTARY HAVE NO MEANS OF PROVIDING FRESH AIR.

ARCHITECTURAL FEASIBILITY STUDY**CONDITIONS, KEY CRITERIA:**

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
- 3 - ACTION REQUIRED 4-5 YEARS
- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

PLUMBING SYSTEM

SERVICE	PIPE SIZE	METER SIZE	PRESSURE REGULATOR	OPER PRESSURE	PIPE MATERIAL	SOURCE	AGE	MISCELLANEOUS
WATER:	4"	(2) 2"	N/A	75 PSI	COPPER	MUNICIPAL	N/A	METERS/BFP IN PARALLEL
GAS:	2"	2"	Y	4-5" W.C.	STEEL	UTILITY	N/A	

SYSTEM	PIPE MATERIAL/CONDITION	TYPE INSULATION/ CONDITION	MISCELLANEOUS
DOMESTIC COLD WATER:	COPPER	FIBERGLASS	
DOMESTIC HOT WATER:	COPPER	FIBERGLASS	
SANITARY WASTE & VENT:	CAST IRON		
STORM DRAINAGE:	CAST IRON		
GAS:	STEEL		
NON-POTABLE (LAB) CW:	N/A		
NON-POTABLE (LAB) HW:	N/A		
ACID (LAB) WASTE & VENT:	N/A		
KITCHEN WASTE:	N/A		
TEMPERED WATER:	N/A		

EQUIPMENT	TYPE/FUEL	AGE	CONDITION	MISCELLANEOUS
DOMESTIC WATER HEATER: 1	ATMOSPHERIC/GAS	2009	5	A.O. SMITH BT 65 200
DOMESTIC WATER HEATER: 2	ATMOSPHERIC/GAS	2012	5	A.O. SMITH GVC 50 300
DOMESTIC WATER HEATER: 3	BOILER - 3 STORAGE	N/A	5	A.O. SMITH BTP 700A WITH
	TANKS / GAS			(3) TJV 200A 200 GAL TANKS
SANITARY EJECTOR PUMP:	N/A			
STORM EJECTOR PUMP:	N/A			
DOMESTIC WATER BOOSTER PUMP:	N/A			
INTERIOR KITCHEN GREASE TPAP:	BIG DIPPER W-350-IS		4	LOCATED AT TRIPLE POT SINK

ARCHITECTURAL FEASIBILITY STUDY**CONDITIONS, KEY CRITERIA:**

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
- 3 - ACTION REQUIRED 4-5 YEARS
- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

PLUMBING SYSTEM CONT.

PLUMBING FIXTURES	TYPE/ INSTALLATION	LOW CONSUMPTION/ METERING	ACCESSIBLE	CONDITION	MISCELLANEOUS
WATER CLOSET:	FLUSH VALVE	NO		3	
URINAL:	FLUSH VALVE	NO		3	
LAVATORY:	WALL HUNG	NO		3	
DRINKING FOUNTAIN/WATER COOLER:	ELECTRIC WC	NO		5	
CLASSROOM SINK:	SELF RIMMING	NO		5	
CLASSROOM BUBBLER / DRINKING FOUNTAIN:	N/A				
MOP SINK:	N/A			3	
SHOWERS:					

MISCELLANEOUS FIXTURES	MISCELLANEOUS
HOSE BIBB:	
WALL HYDRANT:	5
FLOOR DRAIN:	
EMERGENCY SHOWER / EYEWASH:	N/A
EMERGENCY EYEWASH:	N/A
LAB FAUCETS:	N/A
LAB GAS COCKS:	N/A

NOTES: IN GENERAL THE PLUMBING FIXTURES ARE IN FAIR TO GOOD CONDITION. SOME BATHROOMS WERE IN A STATE OF DISREPAIR AND IN NEED OF UPGRADES. THE WATER AND WASTE INFRASTRUCTURE APPEARS IN RELATIVELY GOOD CONDITION WITH NORMAL MAINTENANCE/REPAIR REQUIRED AS THE SYSTEMS CONTINUE TO AGE. THE WATER HEATER SYSTEMS ARE RELATIVELY NEW AND APPEAR IN GOOD WORKING CONDITION.

Birchwood Middle School - Roof



DSC05995



DSC05975



DSC05976



DSC05977



DSC05978



DSC05979



DSC05980



DSC05981



DSC05982



DSC05983



DSC05984



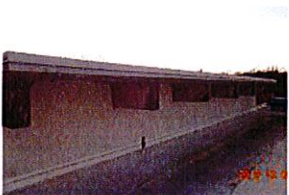
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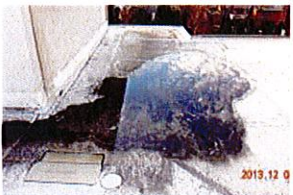
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DSC05989



DSC05991



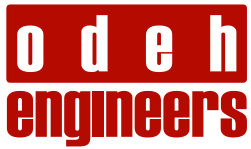
DSC05992



DSC05993



DSC05994



1223 Mineral Spring Avenue
North Providence, Rhode Island 02904

January 2, 2013

Mr. Luis Torrado
L.A. Torrado Architects
35 Greenwich Street
Providence, Rhode Island 02907

RE: Birchwood Middle School Facilities Assessment - Structural

Transmitted via email (la.torrado@verizon.net)

Dear Luis:

Per your request, this office has conducted an inspection and assessment of the structural elements of the Birchwood Middle School buildings. The following is a summary of the investigation and recommendations.

Standard of Care and Use of Report

Please note that the results of this investigation are limited to visual observations of the accessible areas of the building only. While we have made our best efforts to investigate the building structure, many conditions were concealed by architectural finishes or were otherwise inaccessible, and therefore additional damage or other unforeseen conditions not included in this report may be present. The findings of this report therefore represent our best professional opinion based on the information available to us at this time. This report is for use by L.A. Torrado Architects and the North Providence School Department to assess the existing structural condition of the Birchwood Middle School buildings.

Actions Taken

Odeh Engineers, Inc. undertook the following actions to complete this structural assessment:

- On Wednesday, December 4, 2013, Odeh Engineers' Field Engineer, Paul Wilkinson, inspected and assessed the Birchwood Middle School buildings. Where encountered, the Field Engineer documented and photographed existing deficiencies in the structural elements of the building, or potential problem areas that could lead to structural deficiencies.
- Subsequent to the site visit, the Field Engineer reviewed his observations, findings and photographs with Principal Engineer, M. David Odeh, P.E.
- Odeh Engineers has prepared this written summary of findings and recommendations.

Phone: 401.724.1771

Fax: 401.724.1981

Documents Reviewed

There were no structural drawings for the Birchwood Middle School buildings made available to Odeh Engineers at the time of authoring this structural assessment report.

Key Plan

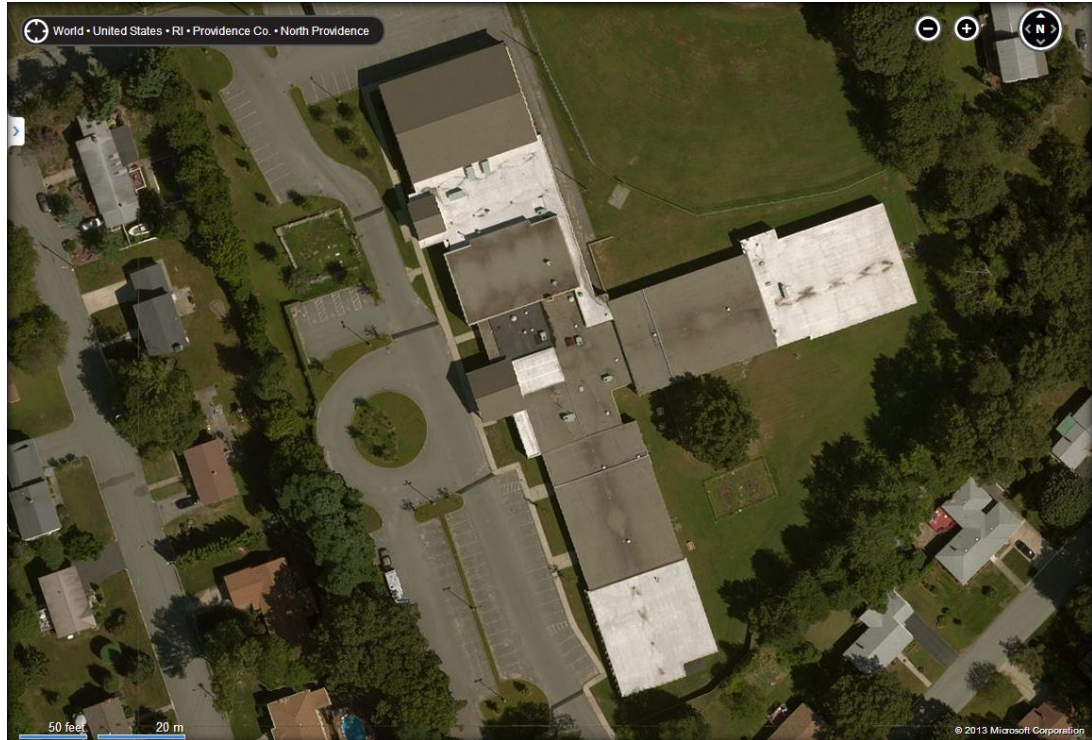


FIGURE 1 – *This photograph is an aerial image of the Birchwood Middle School buildings. Note that north is vertically up in this image.*

Summary of Existing Conditions

The Birchwood Middle School buildings appeared to be in good structural condition with the exception of the following structural deficiencies and/or potential problem areas:

1. There are isolated areas of ponding of water on the flat roofs of the Birchwood Middle School buildings. (Please refer to the Photos #1 and #2 below.) **Comments and Recommendations:** *Although there was no visual evidence of structural distress, ponding of water on the roof of a building can cause the roof structure to sag due to the weight of the water. As the roof sags, more water can become entrapped in the low spot of the roof, causing additional sagging. The roof structure should be adequately pitched, or tapered insulation below the roof membrane must be installed, to allow the water to flow to the roof drains.*



PHOTO #1 – *This photograph shows one of the areas where the water is ponding on the flat roof of the Birchwood Middle School building.*



PHOTO #2 – *This photograph shows more ponding of water on the flat roof.*

2. A few of the grates for the roof drains are missing and some of the grates for these roof drains are damaged. (Please refer to the Photos #3 and #4 below.) **Comments and Recommendations:** *The grates for the roof drains must be properly installed and in good working condition to prevent the roof drains from becoming clogged.*



PHOTO #3 – *This photograph shows one of the roof drains without the grate to prevent debris from clogging the drain.*



PHOTO #4 – *This photograph shows one of the damaged grates over a roof drain at the Birchwood Middle School building.*

3. At several locations where the exterior walls have a split-face masonry block veneer, the joint sealants are aged, cracked and/or have loss bond with the masonry block surfaces. (Please refer to the Photos #5 and #6 below.) **Comments and Recommendations:** *The aged joint sealants should be removed and replaced with new joint sealants to prevent moisture and air infiltration into the building envelope.*



PHOTO #5 – *This photograph shows one of the locations where the exterior split-face masonry block joint sealant has cracked and failed.*

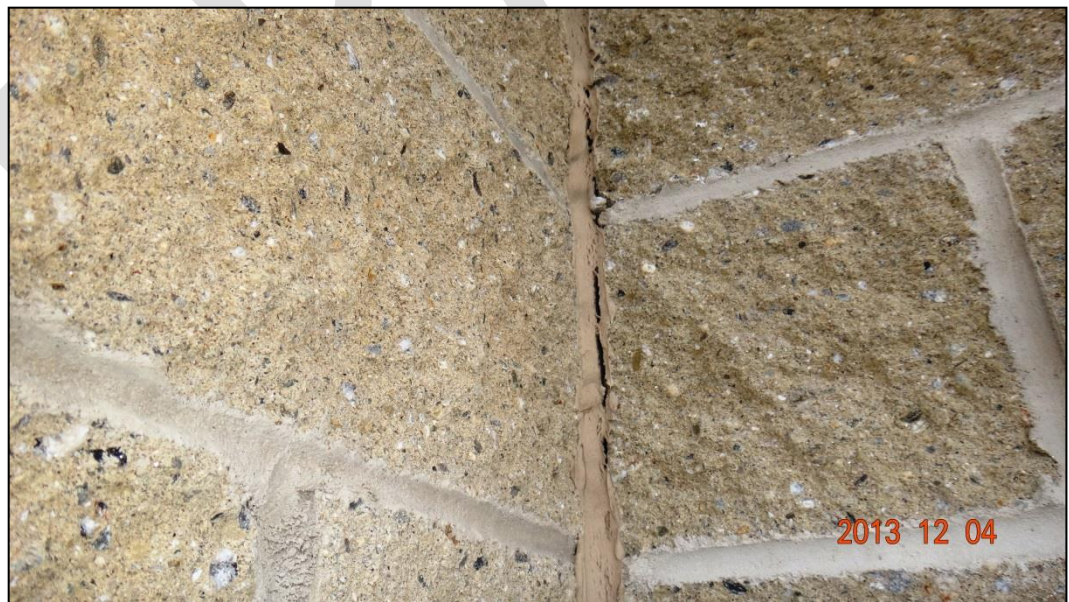


PHOTO #6 – *This photograph shows one of the locations where the joint sealant for the exterior wall split-face block joint sealant has lost the bond to the masonry block.*

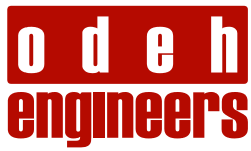
4. There is step-cracking of the exterior wall split-face block veneer at the rear exit door to the northeast wing of the school building. (Please refer to the Photos #7 and #8 below.) **Comments and Recommendations:** *The step-cracking in the split-face block veneer should be repaired as part of maintenance of the building to prevent water and air infiltration into the building. A control joint may be required to prevent recurrence of the step-crack.*



PHOTO #7 – *This photograph shows the step-cracking in the split-face block veneer located near the rear exit of the northeast wing of the Birchwood Middle School building.*



PHOTO #8 – *This photograph shows a closer view of the step-cracks in the split-face block veneer at the Birchwood Middle School building.*



We trust that this report meets your needs at this time. Should you wish to proceed with a more detailed study or design, Odeh Engineers would be pleased to provide these additional services for the project. In the meantime, please do not hesitate to contact this office if you have any questions or require additional information.

Sincerely,

A handwritten signature in black ink, appearing to read "M. David Odeh".

M. David Odeh, P.E.
Principal

A handwritten signature in black ink, appearing to read "Paul Wilkinson".

Paul Wilkinson
Field Engineer

DRAFT



North Providence Fire Department

1951 Mineral Spring Avenue North Providence, R.I. 02904

Phone: 231-8505 Ext. 304 Fax: 233-1460 E-Mail: firemarshal@northprovidenceri.gov

August 16, 2013

Melinda Smith, Superintendent of Schools
2240 Mineral Spring Avenue
North Providence, RI 02911

RE: Birchwood Middle School


Superintendent Smith,

The following is a list of violations which were discovered during our annual inspection of Birchwood Middle School, 10 Birchwood Drive.

1. Exit Signs are broken, or missing in the following locations;
 - a. In the gym lobby the sign is broken.
2. The regular lighting over the egress doors are in need of repair or replacement.
3. The caps on the Fire Department Connection are missing.
4. The following doors need repair;
 - a. Self closer is missing on the exit door from the cafeteria leading directly to the exterior of the building
 - b. The rear boiler room door lacks a self closing device.
5. The existing fire alarm system does not meet the code and shall be repaired as necessary
 - a. There are at least two different types of Horn/ Strobes or horn lights throughout the building. There can only be one type and they shall all be synchronized.
6. An exit inspection program as well as an emergency light/exit sign inspection program shall be implemented. A log book documenting these programs shall be provided. There are multiple Exit sign batteries that are dead as well as emergency lighting throughout the building that are out. Some of the emergency lighting the heads are broken off the base. These need to be replaced.

I believe a lot of this can be addressed prior to the upcoming start of school. Whatever cannot be taken care of will be put into a violation letter with provisions to go to the RI Fire Code Board of Appeal and Review for time extensions.

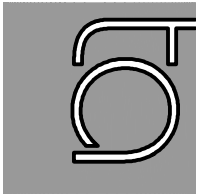
Respectfully Submitted,


Lt. John P. Horan
Fire Marshal

NORTH PROVIDENCE HIGH SCHOOL
1828 MINERAL SPRING AVE, NORTH PROVIDENCE, RI 02904



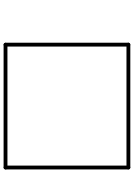
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|-------------|-----------------|-----------------|-----------------|
| Play Fields | Faculty Parking | Parent Parking | Visitor Parking |
| Play Area | Buses | Parent drop off | |



TORRADO
ARCHITECTS

215 GREENWICH ST.
PROVIDENCE, RI 02907
401.781.1555 P
401.781.1555 F

KEY PLAN



RENOVATIONS TO:

**NORTH
PROVIDENCE
PUBLIC
SCHOOLS**

**FACILITY
ASSESSMENT
PROJECT 2013**

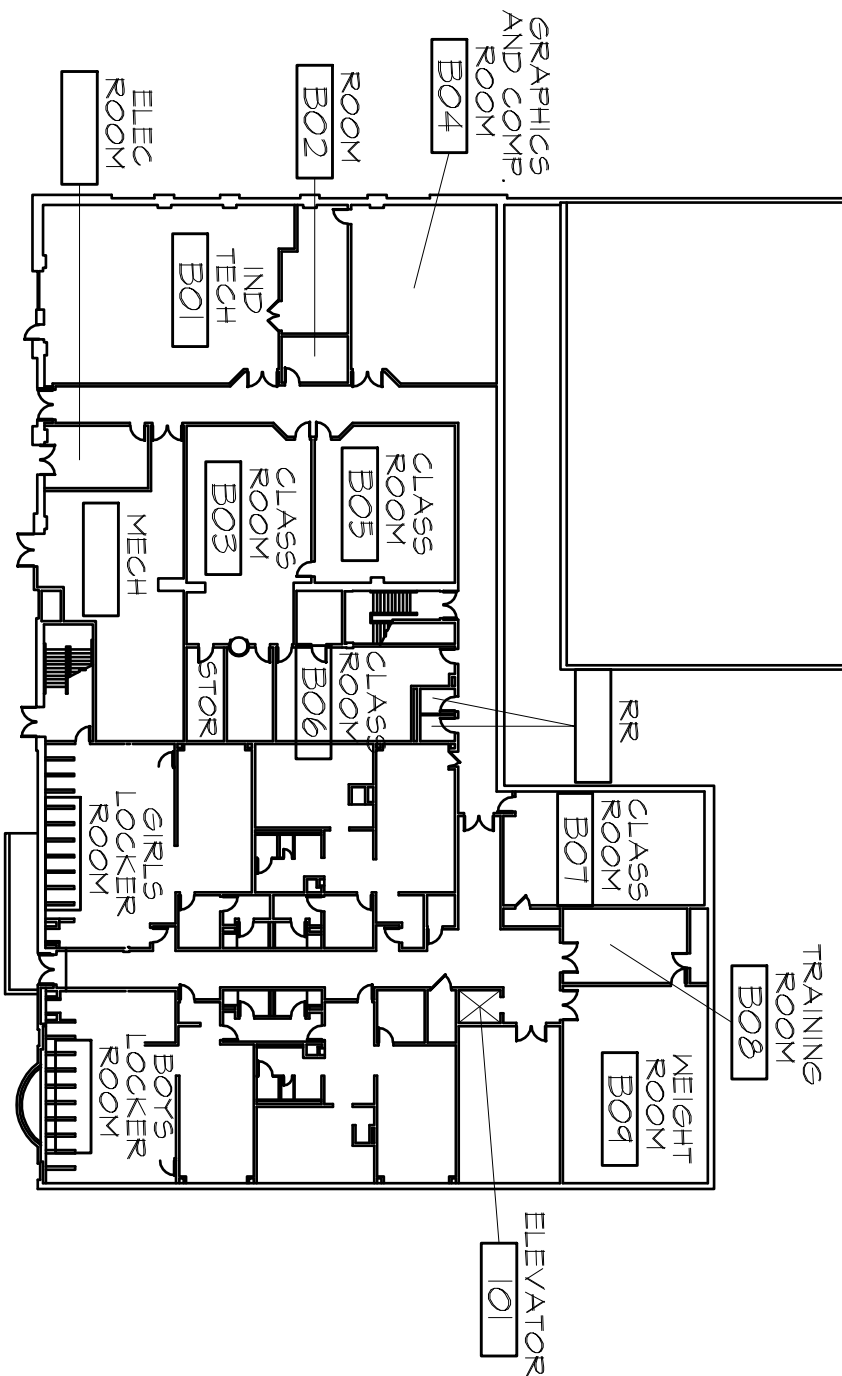
**NORTH
PROVIDENCE
HIGH SCHOOL**

1528 MINERAL SPRING AVE.
NORTH PROVIDENCE RI 02811

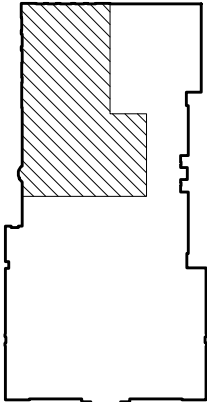
DATE	REV.	DESCRIPTION
REVISIONS		

DATE	06 JANUARY 2014
DESIGN	N.T.
ARCHITECT	AS NOTED
OWNER	L.T.

A-1.OHS



1 BASEMENT PLAN
Scale: 1/8" = 1'-0"



KEY PLAN

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**NORTH
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**NORTH
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HIGH SCHOOL**

1100

REVISIONS:

L.T.

[illegible]

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**NORTH
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HIGH SCHOOL**

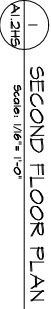
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Scale: 1/16" = 1'-0"



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1838 MINERAL SPRING AVE.
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	REVISIONS:

L.T.

100

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CAPACITY ANALYSIS NORTH PROVIDENCE SCHOOLS						
NORTH PROVIDENCE HIGH SCHOOL						
ROOM NUMBER	USE		SIZE SQ.FT.	ROOM CAPACITY	CODE CAPACITY	SIZE PER RIDE
	CURRENT USE	ROOM				
BASEMENT FLOOR				TEACHER'S CONTRACT		
	MECHANICAL ROOM		1,562			
	GIRLS LOCKER ROOM		4,000			5,150
	BOYS LOCKER ROOM		4,000			5,150
	ELECTRIC ROOM		330			
B01	INDUSTRIAL TECH	CLASSROOM	2,164	25	108	8,000
B02	STORAGE	STORAGE	570			1,575
B03	CLASSROOM	CLASSROOM	1,318	25	65	950
B04	GRAPHICS COMP. LAB	CLASSROOM	1,310	25	65	1,000
B05	CLASSROOM	CLASSROOM	1,107	25	55	950
B06	STORAGE	STORAGE	743			
B07	CLASSROOM	CLASSROOM	1,180	25	59	950
B08	CLASSROOM	CLASSROOM	550	25	27	950
B09	WEIGHT ROOM		1,477			
FIRST FLOOR						
	GYMNASIUM 1		10,119	50	505	10,000
	GYMNASIUM 2		8,831	50	441	
	GYMNASIUM 3		4,473	50	223	
	STORAGE	STORAGE	651			
	STORAGE	STORAGE	463			
	PUMP ROOM		750			
	CAFETERIA		6,382			5,040
	STORAGE	STORAGE	627			
	KITCHEN/ PREP/ STOR.		4,000			2,300
	ADMINISTRATION	OFFICES	11,000			5,280
100	LAB	CLASSROOM	578	25	28	1,200
101	LAB	CLASSROOM	930	25	46	1,200
102	LAB	CLASSROOM	775	25	38	1,200
103	COMPUTER LAB	CLASSROOM	1,500	25	75	1,000
104	COMPUTER LAB	CLASSROOM	900	25	45	1,000
105	LAB	CLASSROOM	790	25	39	1,200
106	FACULTY LOUNGE		790			450
107	LAB	CLASSROOM	493	25	24	1,200
108	LANGUAGE LAB	CLASSROOM	1,210	25	60	1,000
109	LANGUAGE LAB	CLASSROOM	830	25	41	800
110	LAB	CLASSROOM	1,088	25	54	1,200
111	LAB	CLASSROOM	788	25	39	1,200
112	LAB	CLASSROOM	1,400	25	70	1,200
113	LAB	CLASSROOM	1,650	25	82	1,200
114	LAB	CLASSROOM	776	25	38	1,200
115	LAB	CLASSROOM	907	25	45	1,200
116	LAB	CLASSROOM	590	25	29	1,200
117	CLASSROOM	CLASSROOM	795	25	39	950
117*	CLASSROOM	CLASSROOM	795	25	39	950
118	CLASSROOM	CLASSROOM	900	25	45	950
119	CLASSROOM	CLASSROOM	900	25	45	950

CAPACITY ANALYSIS NORTH PROVIDENCE SCHOOLS						
NORTH PROVIDENCE HIGH SCHOOL						
ROOM	USE		SIZE	ROOM	CODE	SIZE PER RIDE
SECOND FLOOR						
	AUDITORIUM		8,680			9,520
	LIBRARY		7,775			6,150
200	CLASSROOM	CLASSROOM	856	25	42	950
201	SCIENCE LAB	CLASSROOM	905	25	45	1,200
202	CLASSROOM	CLASSROOM	810	25	40	950
203	CHEMISTRY LAB	CLASSROOM	2,362	25	118	1,200
204	CLASSROOM	CLASSROOM	924	25	46	950
205	CLASSROOM	CLASSROOM	887	25	44	950
206	CLASSROOM	CLASSROOM	500	25	25	950
207	SCIENCE LAB	CLASSROOM	944	25	47	1,200
208	FACULTY WORK	OFFICE	1,150			500
209	CLASSROOM	CLASSROOM	770	25	38	950
210	CLASSROOM	CLASSROOM	825	25	41	950
211	CLASSROOM	CLASSROOM	825	25	41	950
212	CLASSROOM	CLASSROOM	1,185	25	59	950
213	COMPUTER LAB	CLASSROOM	820	25	41	
214	MOBILE LAB	CLASSROOM	1,041	25	52	
215	CLASSROOM	CLASSROOM	820	25	41	950
216	CLASSROOM	CLASSROOM	880	25	44	950
217	ART	CLASSROOM	1,896	25	94	2,700
218	ART	CLASSROOM	2,390	25	119	
219	MUSIC	CLASSROOM	2,400	25	120	2,275
220	BAND & CHORUS	CLASSROOM	1,720	25	86	
221	READING COMP. LAB	CLASSROOM	905	25	45	
222	CLASSROOM	CLASSROOM	260	25	13	950
223	CLASSROOM	CLASSROOM	1,130	25	56	950
224	CLASSROOM	CLASSROOM	421	25	21	950
225	CLASSROOM	CLASSROOM	1,264	25	63	950
226	COMPUTER LAB	CLASSROOM	1,700	25	85	
227	SCIENCE LAB	CLASSROOM	1,405	25	70	1,200
228	CLASSROOM	CLASSROOM	1,260	25	63	950
229	SCIENCE LAB	CLASSROOM	1,365	25	68	1,200
230	CLASSROOM	CLASSROOM	1,260	25	63	950
THIRD FLOOR						
300	CLASSROOM	CLASSROOM	780	25	39	950
301	CLASSROOM	CLASSROOM	950	25	47	950
302	CLASSROOM	CLASSROOM	800	25	40	950
303A	WRITING COMP. LAB	CLASSROOM	1,140	25	57	
303B	MUSIC COMP. LAB	CLASSROOM	1,120	25	56	
304	CLASSROOM	CLASSROOM	880	25	44	950
305	FACULTY WORK	OFFICE	1,120			
306	CLASSROOM	CLASSROOM	378	25	18	950
307	CLASSROOM	CLASSROOM	800	25	40	950
308	CLASSROOM	CLASSROOM	810	25	40	950
309	CLASSROOM	CLASSROOM	810	25	40	950
310	CLASSROOM	CLASSROOM	800	25	40	950
311	CLASSROOM	CLASSROOM	800	25	40	950
312	CLASSROOM	CLASSROOM	825	25	41	950

Page 1 of 1

North Providence High School



NOT ADA



High School

ARCHITECTURAL FEASIBILITY STUDY

NORTH PROVIDENCE HIGH SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
- 3 - ACTION REQUIRED 4-5 YEARS
- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

GENERAL INFORMATION

NAME OF SCHOOL: NORTH PROVIDENCE HIGH SCHOOL

PRINCIPAL: JOSEPH B. GOHO

ADDRESS: 1828 MINERAL SPRING AVENUE, NORTH PROVIDENCE, RI 02904

OWNER: NORTH PROVIDENCE SCHOOL DEPARTMENT

GRADE LEVELS: 9 THROUGH 12

STUDENT POPULATION: 971

STUDENT CAPACITY: 1700

YEAR CONSTRUCTED: 1935

ADDITIONS: 1996

CONSTRUCTION DATA:

STATE BUILDING CODE / CONSTRUCTION TYPE	
ORIGINAL BUILDING:	IIIB
FIRST ADDITION:	IIB
SECOND ADDITION:	IIB
OCCUPANCY GROUP:	E
SUB - BASEMENT:	IIIB
BASEMENT:	N/A
GRADE LEVEL:	IIB IIIB
SECOND FLOOR:	IIIB IIB
THIRD FLOOR:	IIIB

NUMBER OF STORIES	
ORIGINAL BUILDING:	3
FIRST ADDITION:	1
SECOND ADDITION:	2

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INTERIOR FINISHES

	FLOOR FINISH	CONDITIONS	WALL FINISH	CONDITIONS	CEILING FINISH	CONDITIONS
TYPICAL CLASSROOMS	VCT/VAT	5	CMU/GYP	5	SAT	4
GYM	WD	5	CMU	5	OPEN	5
GYM LOCKER ROOMS	CT/VCT	5	CT/CMU	55	GYP	5
LOCKER ROOMS	CT/VCT	5	CT/CMU	5	GYP	5
AUDITORIUM	CAPT/WD	5	MASONRY	5	GYP	5
CAFETERIA	VCT	5	CMU	5	SAT	5
LIBRARY	CAPT	5	CMU/GYP	5	SAT	5
OFFICES	CT/VCT	5	GYP	5	SAT	5
TEACHER LOUNGE	CT/VCT	5	GYP	5	SAT	5
TOILETS	CT	5	CT/CMU	5	SAT	5
CORRIDORS	CMU	5	CT/CMU	5	SAT	5
LOBBIES	VCT	5	CMU	5	SAT	5
VESTIBULE	VCT	5	CMU	5	SAT	5
STAIRS	VCT/RT	5	CMU	5	SAT	5
KITCHEN	CT	5	CMU	5	GYP	5
MECHANICAL/SERVICE	CONC	5	CMU	5	OPEN	5

INTERIOR ELEMENTS

	MATERIAL	CONDITION	REMARKS
INTERIOR DOORS	WD		
HARDWARE	MTL	3	
LOCKERS	MTL	5	
CUBBIES	N/A		
COUNTER/CABINETS	PL	5	
TEACHERS WARDROBE	PL	5	

ABBREVIATIONS

SAT	SUSPENDED ACOUSTICAL TILE	CONC	CONCRETE
VCT	VINYL COMPOSITE TILE	CMU	CONCRETE MASONRY UNIT
ACT	ASBESTOS COMPOSITE TILE	GYP BD	GYPSUM BOARD
CT	CERAMIC TILE	PTD	PAINTED
PL	PLASTIC LAMINATE	BIT	BITUMINOUS PAVING
WD	WOOD	ALUM	ALUMINUM
MTL	METAL	N/A	NOT APPLICABLE
		RT	RUBBER TILE

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PROVISIONS FOR ACCESSIBILITY

EXTERIOR ACCESSIBLE ROUTE	
ACCESSIBLE ROUTE:	

	COMPLIANCE	REMARKS
PRIMARY ENTRANCE:	YES	
EXTERIOR/ EGRESS DOORS:	YES	
SIGNAGE:	YES	

INTERIOR ACCESSIBLE ROUTE	COMPLIANCE	REMARKS
ACCESSIBLE ROUTE:	YES	
ENTRANCE VESTIBULES:	YES	
SIGNAGE:	YES	
OFFICES:	YES	
LIBRARY:	YES	
AUDITORIUM	NO	
CAFETERIA:	YES	
CROSS- CORRIDOR:	YES	
STAIRS:	YES	
HARDWARE:		
ADMINISTRATION:		
GYMNASIUM:	YES/NO	ORIGINAL GYM IS NOT ACCESSIBLE
LOCKER ROOM:	YES	
CLASSROOM DOORS:	YES/NO	SOME ORIGINAL BUILDING IS NOR
DRINKING FOUNTAINS	YES/NO	SOME ORIGINAL BUILDING IS NOR
CLASSROOM SINKS:	?	

VERTICAL ACCESS:	YES/NO	
(ELEVATORS / LIFTS)		

	FLOOR SURFACE	HANDRAIL / GUARD HEIGHTS	CONDITIONS
STAIRWAYS:	YES	YES	4
RAMPS:			

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PROVISIONS FOR ACCESSIBILITY CONT.**CLINIC:**

REQUIRED CLINIC AREAS/ ASSEMBLIES	COMPLIANCE	CONDITIONS	REMARKS
WAITING AREA:	YES	5	
PRIVATE MEETING AREA:	YES	5	
EXAMINATION AREA:	YES	5	
REST ROOM:	YES	5	

KITCHEN:

REQUIRED KITCHEN AREAS/ ASSEMBLIES	COMPLIANCE	CONDITIONS	REMARKS
WASHABLE SURFACES:	YES		
HAND SINK:	YES		
REST ROOM:	YES		

CLASSROOM EGRESS:

	COMPLIANCE	CONDITIONS	REMARKS
EMERGENCY RESCUE WINDOW:			
DOORS BETWEEN CLASSROOMS:			

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SITE DATA:

	DESCRIPTION
LOT AREA:	
LAND USED:	TRAFFIC CIRCULATION VERY CONGESTED

	MATERIALS	CONDITIONS	REMARKS
PARKING LOT:	BIT	5	
SIGNAGE:	BIT	5	
BUS DROP OFF:	BIT	5	
BUS PICK UP:	BIT	5	
PARENT DROP:	BIT	5	
PARENT PICK UP:	BIT	5	
LOADING/SERVICE AREA:	BIT	5	
TRASH AREA:	CONC	5	

SITE ACCESSIBILITY DATA:

	COMPLIANCE	REMARKS
PARKING:	YES	
CURB CUTS:	YES	
RAMPS:	YES	
WALKWAYS:	YES	

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BUILDING SYSTEMS AND ASSEMBLIES OF ORIGINAL BUILDINGS CON'**EXTERIOR**

EXTERIOR ENVELOPE	MATERIAL	CONDITIONS	REMARKS
WALL ASSEMBLY:			
ORIGINAL BUILDING:	BRICK	4	
ADDITION:	BRICK	5	
ROOF ASSEMBLY:			
ORIGINAL BUILDING:		1	SEE NOTE
ADDITION:		5	SEE NOTE
WINDOWS:			
ORIGINAL BUILDING:			
ADDITION:			
EXTERIOR DOORS:	MTL	5	
ORIGINAL BUILDING:		5	
ADDITION:		5	

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SECURITY

	PROVIDED	NOT PROVIDED	REMARKS
SCHOOL SIGN:	√		
MAIN ENTRANCE IDENTIFICATION:	√		
EXTERIOR DOOR IDENTIFICATION:		X	
PASSIVE SECURITY:		X	
ACTIVE SECURITY:		X	
EXTERIOR CAMERAS:	X		
INTERIOR CAMERAS:	X		
DOOR FOB:	X		
SENSORS:	X		
CLASS ROOM LOCKDOWN:		X	
CLASS ROOM CONNECTING DOOR:		X	

NORTH PROVIDENCE HIGH SCHOOL

NOTES:

- ORIGINAL BUILDING'S ROOF AREA IN VERY POOR CONDITION.
- ORIGINAL GYM AND SPECTATOR AREA ARE NOT ADA ACCESSIBLE.
- WINDOW IN GYM #2 ARE LEAKING
- WINDOW IN STAIR TOWER NEXT TO CLASSROOM 300 LEAKS.
- SECURITY EQUIPMENT IS OLD AND DOES NOT ADEQUATELY COVER THE FACULTY.
 - LIMITED FAB LOCATIONS (VESTIBULE AND BASEMENT)
 - THERE IS NO DEDICATED SECURITY FOR AFTER SCHOOL PROGRAMS (DOORS ARE OPEN BECAUSE THERE IS NO DOOR BELL.
- FOOTBALL, SOCCER AND LACROSSE ALL PLAY IN ONE FIELD, VERY DIFFICULT TO MAINTAIN.
- FIELD IS NOT ADA ACCESSIBLE.
- THE MODIFIED BITUMEN WITH GRANULAR SURFACE ROOF IS PAST ITS USEFUL PERFORMANCE LIFE.
- THERE IS ROOF PONDING, SEAMS HAVE FAILED.
- THERE IS EVIDENCE OF SATURATED INSULATION AND FAILED FLASHING, NON FUNCTIONING ROOF DRAINS.
- FIRE CODE: SEE ATTACHMENT FOR FIRE CODE VIOLATIONS OF EXISTING, EGRESS LIGHTING, DOOR HARDWARE, FIRE ALARM, SPRINKLER SYSTEM, SMOKE DETECTOR, WINDOW SHADES AND DOOR PLEXIGLASS.

North Providence High School - MEP



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GEDC0036



GEDC0037



GEDC0038



GEDC0039



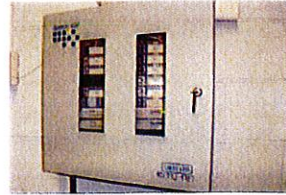
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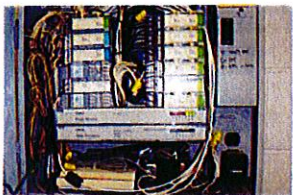
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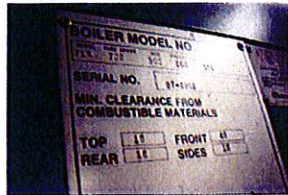
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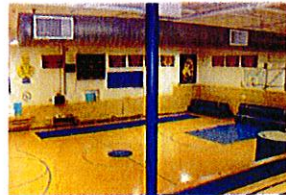
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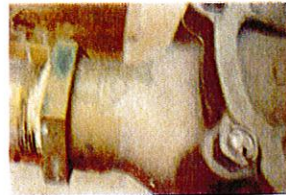
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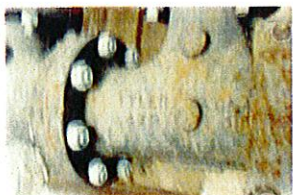
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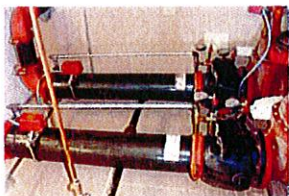
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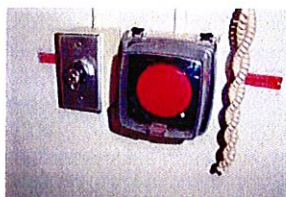
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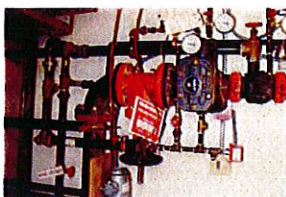
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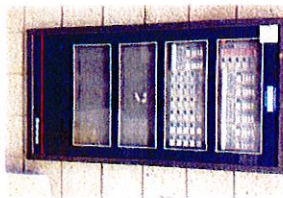
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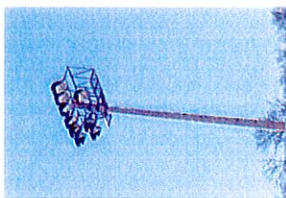
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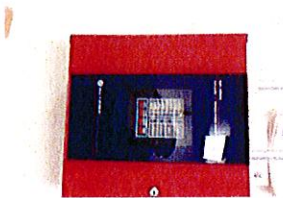
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ELECTRICAL

THE POWER, SIGNAL, LIGHTING, FIRE ALARM AND LIFE SAFETY SYSTEMS WERE UPGRADED IN 1996

THESE SYSTEMS APPEAR TO MEET CURRENT BUILDING, NATIONAL ELECTRICAL AND LIFE SAFETY CODES.

OBSERVATIONS:

A NEW ADDRESSABLE FIRE ALARM SYSTEM IS SCHEDULED TO BE INSTALLED
IN THE NEAR FUTURE.

RECOMMENDATIONS:

REGULAR MAINTENANCE TO THE POWER, SIGNAL, LIGHTING AND LIFE SAFETY SYSTEMS
IS REQUIRED FOR EXTENDED EQUIPMENT LIFE AND RELIABILITY.

	RATING	VOLTAGE	METERING	DATE OF INSTALLATION	CONDITIONS
SERVICE:	2500	480Y/277V	3PH, 4W	1960/1996	GOOD

	TYPE	LOCATION	CONDITIONS
TRANSFORMER:	PADMOUNT	208Y/120V CONC PAD	1960/1996 GOOD

UG

	RATING	ENERGY SOURCE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
EMERGENCY GENERATOR:	400KW	DIESEL FUEL	CATERPILAR	1960/1996	GOOD

GENERATOR SHOULD

	TYPE	DATE OF INSTALLATION	CONDITIONS
DISTRIBUTION SYSTEM:	CONDUCTORS IN CONDUIT	1960/1996	GOOD

	GROUNDING / NON GROUNDING	DATE OF INSTALLATION	CONDITIONS
DEVICES:			
TYPICAL CLASSROOMS:	X	1960/1996	GOOD
OFFICES:	X	1960/1996	GOOD
GYM / CAFETERIA:	X	1960/1996	GOOD
LOBBY / CORRIDOR:	X	1960/1996	GOOD
TOILETS:	X	1960/1996	GOOD

NOTES:

THERE IS A 500A/3P FIRE PUMP FOR THIS FACILITY.

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ELECTRICAL CONT.

LIGHTING	LAMP TYPE	MOUNTING	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	FLUORESCENT	PENDANTS	1960/1996	FAIR/GOOD
OFFICES:	FLUORESCENT	SURFACE	1960/1996	FAIR/GOOD
LIBRARY:	FLUORESCENT	PENDANTS	1960/1996	VERY GOOD
GYM / CAFETERIA:	FLUORESCENT & COMP FLUOR	SUSPENDED	1960/1996	VERY GOOD
LOBBY / CORRIDOR:	FLUORESCENT	SURFACE	1960/1996	FAIR/GOOD
TOILETS:	FLUORESCENT	SURFACE/WALL	1960/1996	FAIR/GOOD
LIGHTING CONTROLS:	SWITCHING/SENSORS		1960/1996	FAIR/GOOD
THEATER LIGHTING SYSTEM:	FLUORESCENT & COMP FLUOR	SURFACE & PENDANT	1960/1996	POOR

SITE LIGHTING:	LAMP TYPE:	MOUNTING	DATE OF INSTALLATION	CONDITIONS
SPORTS FIELDS:	METAL HALIDE	POLE TOP	1960/1996	VERY GOOD
PARKING:	METAL HALIDE	POLE TOP	1960/1996	VERY GOOD
WALKWAYS:	METAL HALIDE	CANOPY	1960/1996	VERY GOOD
BUILDING ENTRANCES:	METAL HALIDE	WALL PACK	1960/1996	FAIR

SECURITY SYSTEM:	TYPE:	MANUFACTURER:	DATE OF INSTALLATION	CONDITIONS
CCTV:	CAMERA	UNKNOWN	1960/1996	UNKNOWN
DOOR ACCESS CONTROLS:	KEY FOB	UNKNOWN	1960/1996	FAIR
DETECTION DEVICES:	MOTION	UNKNOWN	1960/1996	FAIR

COMMUNICATIONS SYSTEM:	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
MASTER CLOCK / PROGRAM:	YES	TELECENTER V	1996	GOOD
TYPICAL CLASSROOMS:	P/A	TELECENTER V	1996	GOOD
OFFICES:	P/A	TELECENTER V	1996	GOOD
PUBLIC AREAS:	P/A	TELECENTER V	1996	GOOD

NOTES

1. COMMUNICATION SYSTEM IN 1960 PORTION IS OLD. NO PARTS ARE AVAILABLE. THE SYSTEM IS POOR.
2. LIGHTING IN THE BOILER ROOM & SHOP AREAS NEEDS TO BE UPGRADED TO FIXTURES WITH HIGH EFFICIENCY LAMPS AND BALLASTS.
3. LIGHTING IN THE 1960 BUILDING NEEDS TO BE UPGRADED TO FIXTURES WITH HIGH EFFICIENCY LAMPS AND BALLASTS.

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TELE/ DATA VIDEO SYSTEM	TYPE	MANUFACTURER	CCTV	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	HARDWIRE & WIFI	UNKNOWN	YES	1960/1996	GOOD
OFFICES:	HARDWIRE	UNKNOWN	NO	1960/1996	GOOD
LIBRARY:	HARDWIRE & WIFI	UNKNOWN	NO	1960/1996	GOOD
GYM/ CAFETERIA:	HARDWIIRE	UNKNOWN	NO	1960/1996	GOOD

LOCAL SOUND SYSTEMS	TYPE	MANUFACTURER	CONTROLS	DATE OF INSTALLATION	CONDITIONS
GYM/ CAFETERIA	PA SYSTEM	UNKNOWN		1960/1996	POOR

	TYPE:	MANUFACTURER:	CONTROLS	DATE OF INSTALLATION	CONDITIONS
EMERGENCY LIGHTING:	EMERGENCY CKTS	UNKNOWN	GENERATOR	1996	GOOD
EXIT LIGHTING:	LED	UNKNOWN	GENERATOR	1996	GOOD

	TYPE:	MANUFACTURER:	NOTIFICATIONS	DATE OF INSTALLATION	CONDITIONS
FIRE ALARM SYSTEM:	CONVENTIONAL	NOTIFIER	AUDIO/VISAUL	1996	FAIR

FIRE ALARM DEVICES	DETECTOR TYPE	ALARM SYGNAL TYPE	PULL STATION	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS:	SMOKE DETECTION	AUDIO/VISUAL		1996	FAIR
OFFICES:	SMOKE DETECTION	AUDIO		1996	FAIR
LIBRARY:	SMOKE DETECTION	AUDIO/VISUAL		1996	FAIR
AUDITORIUM / STAGE:	SMOKE DETECTION	AUDIO/VISUAL		1996	FAIR
GYM/ CAFETERIA:	SMOKE DETECTION	AUDIO/VISUAL	YES	1996	FAIR
LOBBY / CORRIDOR:	SMOKE DETECTION	AUDIO/VISUAL	YES	1996	FAIR
KITCHEN:	N/A	AUDIO/VISUAL		1996	FAIR
STORAGE / SERVICE:	SMOKE DETECTION	AUDIO/VISUAL	YES	1996	FAIR
TOILETS IN ADDITION:	SMOKE DETECTION	AUDIO/VISAUL		1996	FAIR

NOTES:

CLASSROOMS DO NOT HAVE EMERGENCY LIGHTING.
EXIST SIGNS APPEAR TO BE ADEQUATE.

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HEATING & VENTILATION - HIGH SCHOOL

CENTRALIZED SYSTEMS	ENERGY SOURCE	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
HEATING EQUIPMENT #1:	NAT GAS	BOILER - HW	CLEAVER BROOKS	1995	5 GOOD
COOLING EQUIPMENT #1:	GAS/ELECT	PACKAGED RTU	TRANE	1995	2 POOR
EXHAUST EQUIPMENT #1:	ELECT.	ROOF FAN	-	1995	4 GOOD

DISTRUBUTION SYSTEMS	SIZE	TYPE	MANUFACTURER	DATE OF INSTALLATION	CONDITIONS
HEATING DISTRUBUTION EQUIPMENT:	PUMPS (4) - 5HP / 20HP	BASE MOUNTED	TACO	1995	4 GOOD
COOLING DISTRUBUTION EQUIPMENT:	VARIOUS LARGE	PACKAGED RTU	TRANE	1995	3 FAIR
AIR DISTRIBUTION EQUIPMENT:	N/A	-	-	-	

TERMINAL EQUIPMENT	TYPE	MANUFACTURER	CONTROLS	DATE OF INSTALLATION	CONDITIONS
TYPICAL CLASSROOMS (1995):	VAV BOXES /CTRL DAMPERS	SIEMENS	DDC	1995	3 FAIR
TYPICAL CLASSROOMS (1950):	UNIT VENTILATORS	-	ELECTRONIC	1995	5 GOOD
OFFICES:	VAV BOXES	SIEMENS	DDC	1995	3 FAIR
LIBRARY:	VAV BOXES	SIEMENS	DDC	1995	3 FAIR
CIRCULATION:	CTRL DAMPERS	SIEMENS	DDC	1995	3 FAIR
CAF/GYMNASIUM:	CTRL DAMPERS	SIEMENS	DDC	1995	3 FAIR

NOTES:

- 1) ONE MAIN BOILER ROOM IN BASEMENT. MAIN BOILER ROOM WITH TWO LARGE CLEAVER BROOKS WATER TUBE BOILER (4000MBH OUT). FOUR TACO PUMPS 2@5HP AND 2@20HP
- 2) AIR CONDITIONING IS PROVIDED IN THE LIBRARY, OFFICES AND INTERIOR CLASSROOMS BY PACKAGED RTUS. EXTERIOR CLASSROOMS ARE HE
- 3) EXTERIOR CLASSROOMS ARE HEAT ONLY WITH MOTORIZED DAMPERS AND REHEAT COILS.
- 4) RTU ARE SHOT ACCORDING TO FACILITIES PERSONNEL. ACTUATORS FOR VAVS ARE OBSOLETE AND FAIL ON A WEEKLY BASIS.
- 5) LANDIS & GYR DDC CONTROL SYSTEM.

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PLUMBING SYSTEM

SERVICE	PIPE SIZE	METER SIZE	PRESSURE REGULATOR	OPER PRESSURE	PIPE MATERIAL	SOURCE	AGE	MISCELLANEOUS
WATER:	4"	(2) 2"	N/A	CITY	COPPER	MUNICIPAL	N/A	METERS/BFP IN PARALLEL
GAS:	2"	2"	Y	7" W.C.	STEEL	UTILITY	N/A	16000 CFH

SYSTEM	PIPE MATERIAL/CONDITION	TYPE INSULATION/ CONDITION	MISCELLANEOUS
DOMESTIC COLD WATER:	COPPER	FIBERGLASS	
DOMESTIC HOT WATER:	COPPER	FIBERGLASS	
SANITARY WASTE & VENT:	PVC - CAST IRON		
STORM DRAINAGE:	PVC - CAST IRON		
GAS:	STEEL		
NON-POTABLE (LAB) CW:	Y		
NON-POTABLE (LAB) HW:	Y		
ACID (LAB) WASTE & VENT:	POLYPROYLENE		250 GAL CENTRAL ACID TANK
KITCHEN WASTE:	DEDICATED		EXTERIOR GREASE TRAP
TEMPERED WATER:	N/A		

EQUIPMENT	TYPE/FUEL	AGE	CONDITION	MISCELLANEOUS
DOMESTIC WATER HEATER: 3	BOILER - STORAGE	BOILER 1995	4	PK D-1900 BOILER WITH
	TANK / GAS	TANK 2013		NEW 500 GAL TANK
SANITARY EJECTOR PUMP:	N/A			
STORM EJECTOR PUMP:	N/A			
DOMESTIC WATER BOOSTER PUMP:	N/A			
INTERIOR KITCHEN GREASE TRAP:	LOWE MD. 25 LR	1997	1	IN NEED OF REPLACEMENT

ARCHITECTURAL FEASIBILITY STUDY

NORTH PROVIDENCE HIGH SCHOOL

CONDITIONS, KEY CRITERIA:

- 1 - IMMEDIATE ACTION REQUIRED
- 2 - ACTION REQUIRED 2-3 YEARS
- 3 - ACTION REQUIRED 4-5 YEARS
- 4 - ACTION REQUIRED 5+ YEARS
- 5- MONITOR FOR FUTURE MAINTENANCE

PLUMBING SYSTEM CONT.

PLUMBING FIXTURES	TYPE/ INSTALLATION	LOW CONSUMPTION/ METERING	ACCESSIBLE	CONDITION	MISCELLANEOUS
WATER CLOSET:	FLUSH VALVE	NO		3	
URINAL:	FLUSH VALVE	NO		3	
LAVATORY:	WALL HUNG	NO		3	
DRINKING FOUNTAIN/WATER COOLER:	ELECTRIC WC	NO		5	
CLASSROOM SINK:	SELF RIMMING	NO		5	
CLASSROOM BUBBLER / DRINKING FOUNTAIN:	N/A				
MDP SINK:	N/A			5	
SHOWERS:					

MISCELLANEOUS FIXTURES	MISCELLANEOUS
HOSE BIBB:	
WALL HYDRANT:	5
FLOOR DRAIN:	
EMERGENCY SHOWER / EYEWASH:	N/A
EMERGENCY EYEWASH:	N/A
LAB FAUCETS:	N/A
LAB GAS COCKS:	N/A

NOTES:

IN GENERAL THE PLUMBING FIXTURES ARE IN GOOD CONDITION.

THE WATER AND WASTE INFRASTRUCTURE APPEARS IN GOOD CONDITION WITH NORMAL MAINTENANCE/REPAIR REQUIRED AS THE SYSTEMS CONTINUE TO AGE.

THE WATER HEATER SYSTEM APPEARS IN GOOD WORKING CONDITION.

North Providence High School - Roof



DSC06672



DSC06673



DSC06674



DSC06675



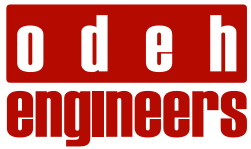
DSC06676



DSC06677



DSC06678



1223 Mineral Spring Avenue
North Providence, Rhode Island 02904

January 2, 2014

Mr. Luis Torrado
L.A. Torrado Architects
35 Greenwich Street
Providence, Rhode Island 02907

RE: North Providence High School Facilities Assessment - Structural

Transmitted via email (la.torrado@verizon.net)

Dear Luis:

Per your request, this office has conducted an inspection and assessment of the structural elements of the North Providence High School buildings. The following is a summary of the investigation and recommendations.

Standard of Care and Use of Report

Please note that the results of this investigation are limited to visual observations of the accessible areas of the building only. While we have made our best efforts to investigate the building structure, many conditions were concealed by architectural finishes or were otherwise inaccessible, and therefore additional damage or other unforeseen conditions not included in this report may be present. The findings of this report therefore represent our best professional opinion based on the information available to us at this time. This report is for use by L.A. Torrado Architects and the North Providence School Department to assess the existing structural condition of the North Providence High School buildings.

Actions Taken

Odeh Engineers, Inc. undertook the following actions to complete this structural assessment:

- On both December 18, 2013 and December 24, 2013, Odeh Engineers' Field Engineer, Paul Wilkinson, inspected and assessed the North Providence High School buildings. Where encountered, the Field Engineer documented and photographed existing deficiencies in the structural elements of the building, or potential problem areas that could lead to structural deficiencies.
- Subsequent to the site visit, the Field Engineer reviewed his observations, findings and photographs with Principal Engineer, M. David Odeh, P.E.
- Odeh Engineers has prepared this written summary of findings and recommendations.

Phone: 401.724.1771

Fax: 401.724.1981

Documents Reviewed

There were no structural drawings for the North Providence High School buildings made available to Odeh Engineers at the time of authoring this structural assessment report.

Key Plan



FIGURE 1 – *This photograph is an aerial image of the North Providence High School buildings. Note that north is vertically up in this image.*

Summary of Existing Conditions

The North Providence High School buildings appeared to be in good structural condition with the exception of the following structural deficiencies and/or potential problem areas:

1. At several locations within the southeast gymnasium at the North Providence High School, cracks have developed in the concrete masonry block piers surrounding the steel columns that support the gymnasium roof. (Please refer to Key Plan photo above and to Photos #1 and #2 below.) **Comments and Recommendations:** *The cracks in the concrete block piers surrounding the steel columns that support the southeast gymnasium roof are not structural cracks. These cracks are likely caused by the lack of sufficient room between the blocks and the steel columns to allow for the movement of the gymnasium structural steel frame. Odeh Engineers recommends that the cracked blocks be removed and replaced with new CMU while providing sufficient clearance to allow for the movement of the structural steel.*



PHOTO #1 – *This photograph shows one of the locations where a vertical crack has developed in the concrete block piers surrounding the steel columns in the southeast gymnasium.*



PHOTO #2 – *This photograph shows another location where cracks have developed in the concrete block piers surrounding the steel columns in the southeast gymnasium.*

2. A few of the open-web steel roof joists in the southeast gymnasium at the North Providence High School appear to be either bowed or tilted out of plumb. (Please refer to Photos #3 and #4 below.) **Comments and Recommendations:** *Odeh Engineers could not determine if these steel roof joists were originally installed in these bowed or tilted conditions, or whether the bows and tilts of the roof joists resulted from overstressing these gymnasium roof members. Further investigation of these conditions is recommended.*



PHOTO #3 – *This photograph attempts to show the tilting of the bottom chord of one of the southeast gymnasium open-web steel roof joists.*

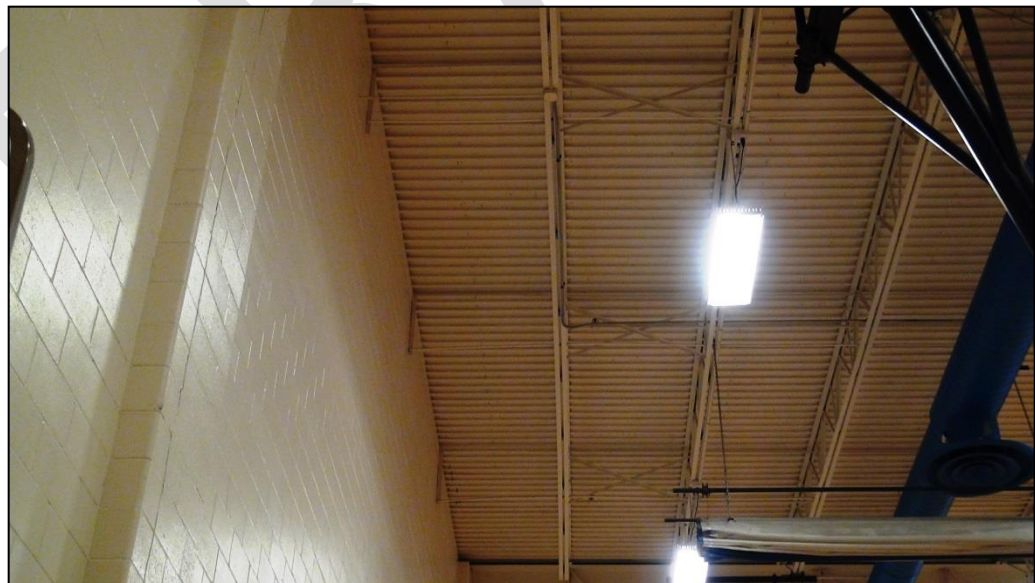


PHOTO #4 – *This photograph attempts to show the bowing of one of the southeast gymnasium open-web steel roof joists.*

3. A couple of the steel angle web members in the southwest gymnasium at the North Providence High School appear to be damaged. (Please refer to Photos #5 and #6 below.) **Comments and Recommendations:** *Odeh Engineers could not determine if the damage to the southwest gymnasium roof truss steel angle web members were originally installed in this damaged condition, or whether the deformation of the web members was the result of overstressing these web members. Further investigation of these conditions is recommended.*



PHOTO #5 – *This photograph shows the damage to one of the southwest gymnasium roof truss web members.*



PHOTO #6 – *This photograph shows the damage to another of the roof truss web members in the southwest gymnasium of the North Providence High School.*

4. Several cracks have developed in the concrete masonry block walls of the stair tower connecting the southwest corner of the original High School building to the remainder of the school. (Please refer to Photos #7 to #10 below.) **Comments and Recommendations:** *The cracks in the interior block walls of the stair tower are not structural cracks. The stair tower is steel framed and does not rely on the concrete blocks for support. The cracks likely occurred as a result of movement of the steel frame and the failure to properly bond the corners of the block walls. These cracks do not currently pose a structural hazard. However, the cracks should be periodically monitored.*



PHOTOS #7, #8 AND #9 – *These photographs attempt to show the cracking of the interior block walls at the connector stair tower near the southwest corner of the original High School building.*



PHOTO #10 – *This photograph shows the horizontal and step-cracking of the interior block walls at the connector stair tower.*

5. It was reported to Odeh Engineers that there are several locations where long-term roof leaks have occurred in the High School building. These locations include the Auditorium and at the third floor northwest corner room of the original High School building. The roofing system on the original High School building was cracked at various locations. (Please refer to Photos #11 and #12 below.) **Comments and Recommendations:** *The roofing system on the original High School building appears to have reached the end of its useful life. Odeh Engineers recommends that the roofing system be evaluated by a roofing consultant.*



PHOTO #11 – *This photograph shows the damages to the Auditorium ceiling caused by roof leaks.*



PHOTO #12 – *This photograph shows a crack in the roofing system on the original High School building roof located nearby and above the roof leak in the Auditorium shown in Photo #11.*

6. Water from driving rains was reported infiltrating into the school building envelope at the ceiling above the second floor adjacent to the three-story stair tower located at the southwest corner of the original High School building and through the windows at the southeast gymnasium. (Please refer to Photos #13 and #14 below.) **Comments and Recommendations:** *Odeh Engineers did not observe any structural distress or deterioration resulting from these reported wind-driven building envelope leaks. Odeh Engineers recommends that the wind-driven building envelope leaks be repaired as soon as possible to stop any on-going damage to the interior architectural finishes and to prevent potential future damage to the building structure.*



PHOTO #13 – *This photograph shows one of the locations where reported wind-driven rain is infiltrating into the building envelope and damaging the interior architectural finishes.*



PHOTO #14 – *This photograph shows the south exterior wall of the southeast gymnasium where wind-driven rain has reportedly been infiltrating into the building envelope from the windows.*

7. Vertical cracks have developed in the exterior brick walls at the northwest and southwest corners of the southwest gymnasium. (Please refer to the Photos #15 and #16 below.) **Comments and Recommendations:** *The vertical cracks in the brick veneer of the southwest gymnasium should be repaired as part of maintenance of the building to prevent water and air infiltration into the building. New control joints may be required to prevent recurrence of the vertical cracks.*

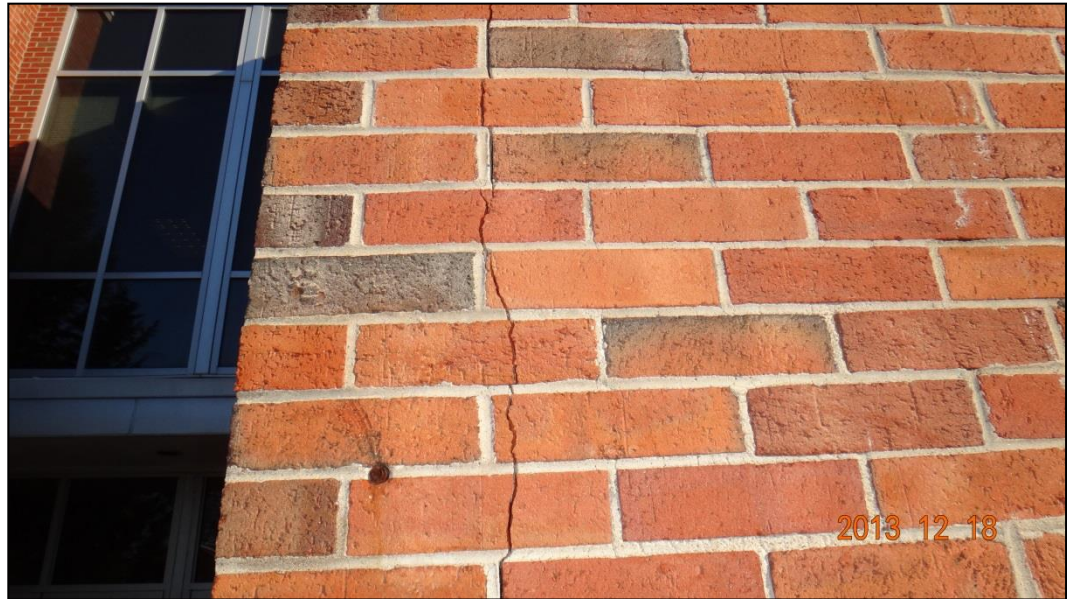


PHOTO #15 – *This photograph shows one of the locations where the exterior split-face masonry block joint sealant has cracked and failed.*

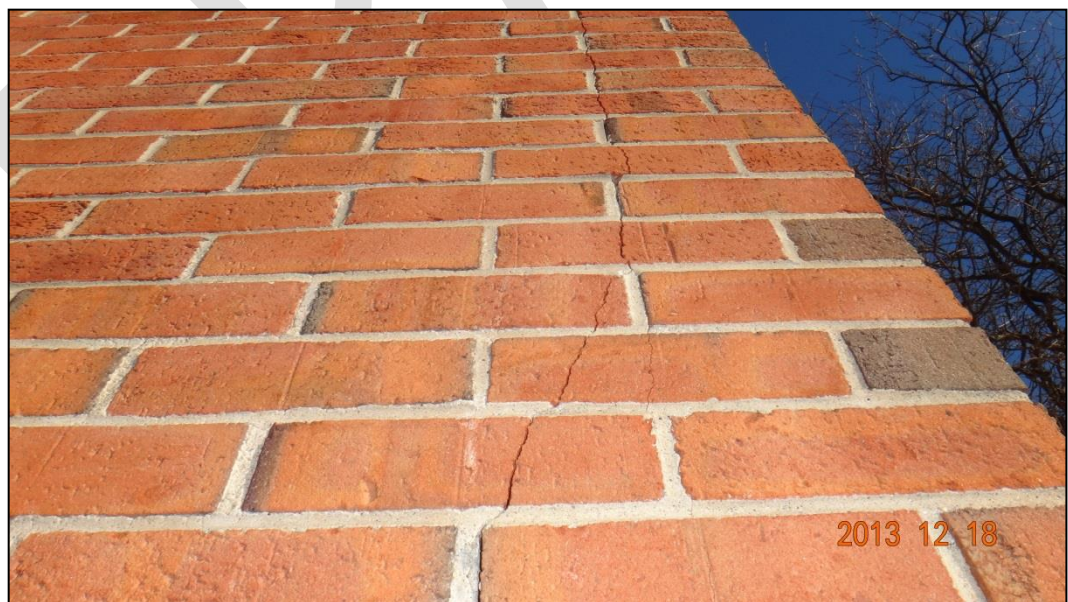


PHOTO #16 – *This photograph shows one of the locations where the joint sealant for the exterior wall split-face block joint sealant has lost the bond to the masonry block.*

We trust that this report meets your needs at this time. Should you wish to proceed with a more detailed study or design, Odeh Engineers would be pleased to provide these additional services for the project. In the meantime, please do not hesitate to contact this office if you have any questions or require additional information.

Sincerely,



M. David Odeh, P.E.
Principal



Paul Wilkinson
Field Engineer

DRAFT



North Providence Fire Department

1951 Mineral Spring Avenue North Providence, R.I. 02904
Phone: 231-8505 Ext. 304 Fax: 233-1460 E-Mail: firemarshal@northprovidenceri.gov

July 23, 2013

Melinda Smith, Superintendent of Schools
2240 Mineral Spring Avenue
North Providence, RI 02911

RE: North Providence High School

Superintendent Smith,

The following is a list of violations which were discovered during our annual inspection of North Providence High School.

1. Exit Signs are either missing or in need of repair in the following locations;
 - a. Missing Sign at entrance to stairwell across from room 109
 - b. Sign in Cafeteria over door leading directly outside is not lit
 - c. Sign broken across from room 212
 - d. Missing Sign at entrance to stairwell across from 310
 - e. Missing Sign at entrance to stairwell across from 307
 - f. Sign at stairwell entrance outside 300 not lit
 - g. Sign in B01 woodshop is not lit
 - h. Directional signage shall be added to the area inside of rooms B03, B05 and B06.
 - i. Directional exit signage shall be added to the boys and girls locker/shower rooms
2. Sprinklers are either blocked, missing, or damaged in the following locations;
 - a. Room 106 sprinkler blocked by ceiling tile
 - b. Guidance Office Conf. rm. 2 has a dividing curtain that blocks the sprinklers from operating properly. Either eliminate curtain or add heads.
 - c. Office across from 208 sprinkler blocked by ceiling tile
 - d. Room 218 Kiln room needs high heat heads added over Kilns, A metal shield blocks the existing heads
 - e. Room 220 a head in the closet is blocked by a ceiling tile.
 - f. Projection room sprinkler head damaged, Replace
3. Standpipe needs repair in the following locations
 - a. Cap missing in the left stairwell leading to Gymnasium 3
 - b. Handle missing in 2nd floor stairwell across from 208
 - c. Cap missing in the stairwell near B06
4. All Smoke Detectors that are 10yrs old or older shall be replaced
5. The following doors need repair;
 - a. Door to room 115 getting hung up on the floor
 - b. Room 103 has a broken door closer
 - c. Room 105 the door is stuck shut
 - d. Room 307 rear door getting hung up on floor
 - e. Locks on the rear doors to rooms B03, B05, and B06 need to be removed. A person can get locked in the room previously known as the dark room/storage.

RECEIVED JUL 25 2013

- f. Door inside boys locker needs hardware
 - g. Doors outside girls locker room leading to the exterior needs to have the vegetation removed so the door can open freely
6. Soda Machines in hall way of basement near elevator reduces the corridor width below the required 72" and shall be moved. The wall outside B08 is fine for these machines as it does not reduce exit corridor width.
7. Due to the fact they only have 1 exit the occupancy load cannot exceed 50 people in the following rooms
- a. 112
 - b. 212
 - c. 214
 - d. 217
8. Extinguishers in the following locations need to be inspected.
- a. In the balcony of the Auditorium
 - b. In the storage room across from 307
 - c. Near stairwell near 200
9. There is paint being stored in the mechanical room next to 108. The paint needs to be moved into the storage room located in the mechanical room and a self closing device shall be added to the fire door.
10. All rooms with building electrical equipment shall not store anything within 36" of the electrical equipment
11. Dividing curtain in guidance conf. room 2 and B07 do not show what are rated for. We need to get the rating so we have it on file.
12. A walkway shall be added from the exterior door leading from Gymnasium 2 and both exterior doors from gymnasium 1 to the sidewalk to provide proper egress for all students and staff including the handicapped.
13. The Fire Marshal's office needs a copy of testing records for the Generator for the school as well as a list of what is exactly powered with this unit. I have attached the testing and maintenance requirements set forth by the fire code.

I believe a lot of this can be addressed prior to the upcoming start of school. Whatever cannot be taken care of will be put into a violation letter with provisions to go to the RI Fire Code Board of Appeal and Review for time extensions. On a side note both Building Official Edward Civito and myself were extremely pleased with the condition and cleanliness of the high school. It is quite apparent the workers in this school take their jobs very serious and are

Respectfully Submitted,



Lt. John P. Horan
Fire Marshal, NPFD

7/22/2013

North Providence High School
1828 Mineral Spring Avenue
School Inspection

Exterior / Property

1. Sewer drain left side of Building
2. Dumpsters on side of Building must be gated on three (3) sides and gate to close; 2A. Blocks to be installed side drive drop off
3. Rear exit from Gym: walkway must be installed along side of Building to front of Building
4. Exit sign Girl's locker room to corridor
5. 2nd Girl's locker room, directional sign must be installed
6. Boy's locker room directional exit sign to be installed
7. 2nd Boy's locker room, install directional exit sign to be installed
8. 2nd Boy's locker room, need door hardware and exit sign
9. Room B03, directional exit signs to be installed computer room and dark room
10. Exit sign out of wood shop
11. Water and soda machine in corridor at Exercise room must be removed from corridor

First Floor

12. Repair exit side of cafeteria and rear loading dock

First Floor Old Section of School

13. Mech. Room north, paint must be stored within connection room
14. Room 105, door to be repaired, not able to open
15. Exit sign missing stairwell (F)
16. Broken door closer Room 103 (old Building)
17. 2nd Floor exit sign out (replace bulb) at 301 and exit sign 307 @ stairwell (F)
18. Exit sign stairwell (G)



Edward Civito
Building Official

*File under
Bld inspections -*
RECEIVED JUL 25 2013



2013-14 Enrollment Projections

TO: Melinda A. Smith, Superintendent of Schools, North Providence, RI
FROM: Donald G. Kennedy, Ed.D., Demographic Specialist
DATE: January 9, 2014
RE: Enrollment Projections

We are pleased to send you the enclosed documents displaying the past, present, and projected enrollments for the North Providence School District. We have used the 2013-14 grade-level enrollments recently posted on the RIDE website, slightly different from the figures given to us by the district (PK-12 RIDE = 3,498; PK-12 from District = 3,442). We assume that the method of collecting the enrollment data has been consistent from year to year.

NESDEC was not asked by the District to do enrollment projections in 2012-13, however we will call to your attention three points that may be worth your looking into because their irregularity is unusual, making it problematic to accurately project future enrollments: a. whereas the 2013 Kindergarten represents 78 Kindergarteners for every 100 births five-years-prior, the 2012 Kindergarten had 92 Kindergarteners per 100 births, making this a difficult grade to project for; b. Grade 6 in 2013 has only 14 more students than were in Grade 5 last year (in NP there is a long-established pattern of growth at this level) however in 2012 this grade had grown by 62 students, thus making it difficult to understand the true pattern of growth – is there a new charter school that begins in Grade 6?; and c. whereas the Grade 1-8 enrollment total increased by an (expected) 1% in 2011 and 2% in 2013, the increase in 2012 was a robust 9% - is this strong growth likely to re-occur, and what might have been the causes? If NESDEC had done an enrollment projection with data from the fall of 2012, these data “blips” would likely have led to a Kindergarten projection that was too high by 21 students; and a Grade 6 projection that was too high by 35 pupils.

The two factors now at work which will have the greatest effect upon future enrollments are: a small decline in the number of births to North Providence residents and, to a greater degree, b. the resumption of in-migration (which had slowed, due to the real estate slowdown). In the decade from 1998-2007, North Providence averaged 321 births per year; more recently (and expected over the next 6-7 years) are about 292-333 births annually...averaging about 18 fewer per year than previously. Incidentally, hard-hit Connecticut experienced an 8.6% decline in births from 2007 to 2009 (in large part caused by the economic Recession), the largest decline among the six New England states – followed by an 8.1% decline in **Rhode Island** births, the two states with the highest rates of unemployment in the New England region. Economists are forecasting a slow-yet-steady recovery from the current rates of unemployment (as of November 30 - **RI 9.0%**; NJ 7.8%; CT 7.6%; NY 7.4%; PA 7.3%; MA 7.1%; US non-farm unemployment 7.0%; ME 6.4%; NH 5.1%; and VT 4.4%) which, in turn, may lead to additional in-migration and births.

The ever-changing relationship between North Providence births and Kindergarten enrollments is displayed on the B-K graph. North Providence, over the past seven years, has registered about 75 Kindergarteners for every 100 births (five years previous), a relationship which has been quite stable...this fall there were 78 Kindergarteners for every 100 births five-years-previous. Note on the graph, however, that in 2012 there were 92 Kindergarteners for every 100 births. Grade 1 is expected to be about 1% larger than the previous year's Kindergarten class. Projection ratios have been adjusted to match North Providence's most recent experience.

Like many nearby communities North Providence continues to experience enrollment fluctuations of in/out-migration in Grades 1-8 (Grades 9-12 are excluded from this calculation, as there often is a 3% decline in Grade 9 for reasons that have little to do with families moving out of North Providence). Over the past ten years in Grades 1-8, there have been ten consecutive-but-irregular years of 1-9% in-migration (including +2% in 2013, +9% in 2012 and +1% in 2011). The 2012 result is both interesting and unusual – is it likely to repeat?

Over the next three years, K-5 enrollments are forecast to increase by a total of 5 students; Grades 6-8 to increase by 191 pupils (due to larger groups moving up the grade levels); and the high school level to decrease temporarily by about 27 pupils...all within the next three years. After that point these projections show flat enrollment in Grades K-8, and larger increases in Grades 9-12. That said, it is possible that the economy and real estate turnover will have altered, perhaps bringing in some additional new families - see the “Projections” page.

Will these patterns of declining enrollments really last for as long as ten years? Probably not. All projections are more reliable in Years #1-5; and less reliable in Years #6-10. As soon as the economy and real estate situation improve in the region, additional in-migration likely will return to North Providence. Many

communities in the region sold during 2008-2012 only about 60-80% as many homes as in 2003-2007. Building permits had slowed as well; see the “Additional Data” table below. **As the economy changes, the long range patterns may be altered.** See the description on Page 4 below regarding “reliability of projections”.

The birth numbers used in the projections, through 2010, are from the RI Department of Public Health. The “estimated” years, beginning with 2011 are a rolling five-year average, which NESDEC has found to be the most accurate method of estimation. Local Town Clerks have birth information for 2011, 2012 and 2013, however do not have access to the numbers of North Providence residents born out-of-state (information which will eventually become known to the RI DPH).

The two most difficult grades to forecast in all districts are Kindergarten and Grade 9. The latter is difficult to anticipate, as there are so many options for Grade 9 (in vocational or agricultural schools, private or parochial non-public schools, etc. Kindergarten can be difficult to project based upon births alone, as many districts have large numbers of “net move-ins/move-outs” who are ages 1-4. **Some districts take the extra steps to track 3 and 4-year olds with a local census, or report to NESDEC the known number of 4-year olds in local preschools/nursery schools which typically enroll Kindergarteners in the district. Knowing this information helps NESDEC to project Kindergarteners more reliably...as does data from the Kindergarten Screening in districts which also track 3 and 4-year old siblings (or neighbors) at that time. The more data, in addition to births, which is sent to NESDEC, the greater is the chance that “enrollment surprises” will be minimized.**

A word about PK projections: the trend in virtually every district is to serve additional 3 and 4-year olds each year, even if the number of Kindergarteners is in decline. Hence, the rising numbers in PK projections. The reasons why additional 3 and 4-years olds are being served are multiple: more children in need of Special Education services are being identified at early ages, including larger number of students on the autism spectrum. Further, many districts are moving to expand their services to “typically developing” 3 and 4-year olds in order to improve/enhance the educational quality of their existing programs. Longitudinal research continues to indicate both the educational and fiscal benefits of early intervention programs of schooling.

Recent New England trends in the 275+ district for which NESDEC furnishes projections are primarily on the side of declining enrollments, due to fewer births combined with fewer new families moving into the districts...the latter factor, however, may be changing as we expect in North Providence. Large cities and their nearby communities have displayed flat or rising numbers of births, and enough new renters to keep the school population flat or rising slightly. If your district has need for further assistance in the area of long range facilities planning, we urge you to call so that we might discuss our planning services which include our Demographic and

Long-Range Enrollment Projection Studies. We have enclosed suggestions for interpreting the printout and a brief description of the modified cohort survival methodology used in preparing the projections. As always, we would be delighted to hear from you regarding ways in which we might make the enrollment forecasts more useful to you. Please don't hesitate to call or email us at ep@nesdec.org. Best wishes for the school year.

Analyzing Your Enrollment

Historical Public Enrollments

1. After the "YEAR" column can be found the "BIRTHS" column. The number of births to residents for each of eleven years is displayed. Note any trends, e.g., have births been decreasing? increasing? leveling off? Kindergarten and Grade 1 enrollments are normally quite responsive to these fluctuations.
2. Look down the K and 1 columns and note the direction of the trend. This affords a comparison of these classes over a ten-year period. Add the K and Grade 1 enrollments of the first school year recorded, and compare them with the sum of the current K and Grade 1 enrollments.
3. Take the first K class and follow it diagonally to trace its movement to Grade 1, 2, etc. up to its current 10th grade status. This comparison (which can be accomplished for other classes also) gives some measure of the effects of migration in your school district. If a sixth grade class today is larger than it was as a K class six years ago, then in-migration has probably occurred; if it is smaller, then out-migration has probably occurred.
4. Compare each K class with the previous year's graduating class. Note which is larger and by what amount one surpasses the other. Larger graduating classes generally reflect declining enrollments; larger K classes generally indicate increasing enrollments.
5. In the "Grade Combinations" section, note the trends of elementary, middle school/junior high, and high school enrollments. A significant and consistent trend in these summaries usually results in the corresponding trend for projected enrollments. If enrollments are leveling off in the elementary grades after a period of decline, then the secondary enrollments might be expected to continue to decline for several years until the leveling off experience has had time to take hold at the secondary grades.

Enrollment Projections

1. Note the trends exhibited in the total K-12 (or 1-12) projection for the next five years as well as the

projections for various grade combinations. The trends on this page should generally exhibit a continuation of the trends mentioned above for historical enrollments, although the rate of change may be quite different.

2. Look at the births in the most recent years and note whether the trend is up, down, or level.
3. Make similar comparisons as appropriate on this page as were suggested for the "Historical Public Enrollments" page.

PROJECTION METHODOLOGY

The cohort survival technique is the most frequently used method of preparing enrollment forecasts. NESDEC uses that technique, but modifies it in order to move away from forecasts which are wholly computer or formula driven. Such modification permits the incorporation of important, current town-specific information into the generation of the enrollment forecasts. Basically, percentages are calculated from the historical enrollment data to determine a reliable percentage of increase or decrease in enrollment between any two grades. For example, if 100 students enrolled in Grade 1 in 2010-11, increased to 104 students in Grade 2 in 2011-12, the percentage of survival would have been 104% or a ratio of 1.04. Such ratios are calculated between each pair of grades or years in school over several recent years.

After study and analysis of the historical ratios and based upon a reasonable set of assumptions regarding births, migration rates, retention rates, etc., ratios most indicative of future growth patterns are determined for each pair of grades. The ratios thus selected are applied to the present enrollment statistics for a pre-determined number of years. The ratios used are the key factors in the reliability of the projections, given the validity of the data at the starting point. The strength of the ratios lies in the fact that each ratio encompasses collectively the variables that account for increases or decreases in the size of a grade enrollment as it moves on to the next grade. Each ratio represents the cumulative effect of the following factors:

1. Real estate turnover and new residential construction;
2. Migration, in or out, of the schools;
3. Drop-outs, transfers, etc.;
4. Births to residents;
5. Retention in the same grade.

RELIABILITY OF ENROLLMENT PROJECTIONS

Projections can serve as useful guides to school administrators for educational planning. In this regard, the projections are generally most reliable when they are closest in time to the current year. Projections six to ten years out may serve as a guide to future enrollments, and are useful for facility planning purposes. However, they should be viewed as subject to change given the possibility for change in the underlying assumptions/trends.

Projections based upon **the children already in the district** (the current K-12 population only) will be the most reliable; the second level of reliability will be for those children already **born into the community but not yet old enough to be in school**. The least reliable category is the group for which an estimate must be made **to predict the number of births**, thereby adding an additional variable. See these three multi-colored groupings on the “Projected Enrollment” slide/page.

How often do the actual enrollments closely match the NESDEC projections? The research literature reports the closest that enrollment forecasters are likely to come to actual enrollments is about 1% variance per year-from-the-known-data. That is, a 1% variance from projection-to-actual “one-year-out” into the future (2% variance “two-years-out” ... 10% variance “ten-years-out”). NESDEC reaches this “highest possible” standard in about 90% of cases. When our NESDEC variance is greater, the reasons often are one of the following: a. imbedded/intervening “hidden” variables (examples: a parochial school closed or other students returned from non-public schools, a charter school opened, the Kindergarten program changed entrance age or to extended/full-day, the high school toughened its course credit/graduation requirements, the District set new attendance boundaries for elementary schools, or the District had well-publicized budget/referendum difficulties); b. the District size was below 500 students, thus subject to fluctuations; or c. the District has not done enrollment projections on an annual basis.

Annual updates allow for early identification of recent changes in historical trends. When the actual enrollment in a grade is significantly different (high or low) from the projected number, it is important (yet difficult) to determine whether this is a one-year aberration or whether a new trend may be starting. **In light of this, NESDEC urges all school districts to have updated enrollment forecasts developed by NESDEC each October.** This service is available at no cost to affiliated school districts.

Using This Information Electronically

If you would like to extract the information contained in this report for your own documents or presentations, you can use Adobe Acrobat reader to convert the desired information to a “snapshot,” which can be inserted into PowerPoint slides, Word documents, etc. Because the snapshot tool creates a graphic, the image is not editable.

Steps for Using The Snapshot Tool in Adobe Acrobat Reader 8.0:

1. Click on Tools Menu;
2. Choose “Select & Zoom;”
3. Choose “Snapshot Tool;”
4. Click and drag around the text, chart, and/or graphics that you would like to capture: your selection will be copied to the clipboard automatically;
5. Click in the document where you would like the information to appear;*
6. Give Paste command.

If you have an earlier version of Adobe Acrobat and these instructions don’t work for you, contact your tech support person, or NESDEC and we will try to assist you. Telephone (508)481-9444 or ep@nesdec.org. Ask for Peggy, Don, or Carol.

*You may paste your snapshot onto a PowerPoint slide, onto an Excel sheet, or even into a graphics program to save as a separate graphic file (in .jpg or other format), so that it is available for inserting into future documents.

North Providence, RI Historical Enrollment

School District: North Providence, RI

1/7/2014

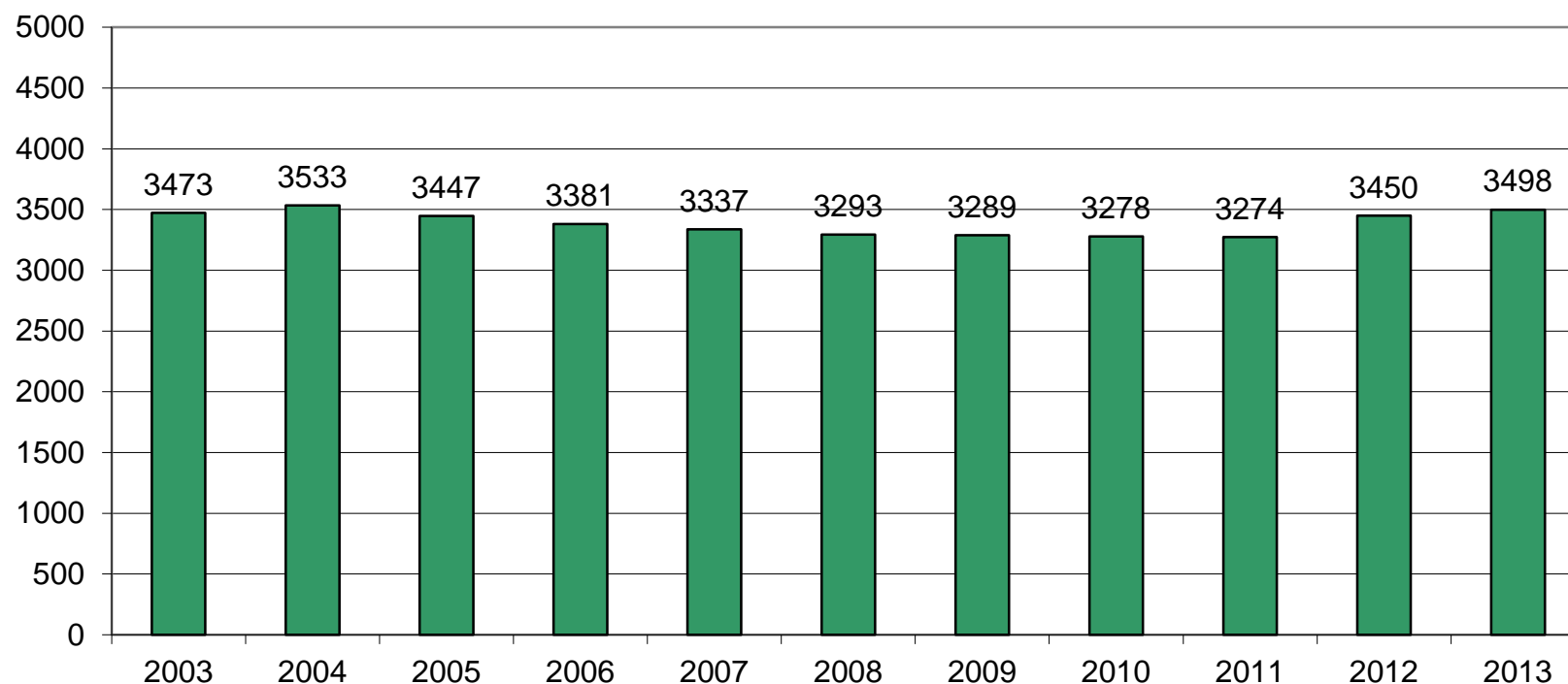
Historical Enrollment By Grade																			
Birth Year	Births	School Year	PK	K	1	2	3	4	5	6	7	8	9	10	11	12	UNGR	K-12	PK-12
1998	335	2003-04	19	198	214	228	215	247	272	303	309	317	332	288	279	252	0	3454	3473
1999	268	2004-05	52	147	230	248	249	242	251	297	309	305	314	343	275	271	0	3481	3533
2000	324	2005-06	28	177	183	226	248	255	246	268	301	312	306	306	340	251	0	3419	3447
2001	302	2006-07	33	167	216	186	218	245	270	251	277	289	303	316	297	313	0	3348	3381
2002	335	2007-08	68	197	218	211	192	224	256	269	245	274	294	321	295	273	0	3269	3337
2003	367	2008-09	64	229	235	220	209	190	219	261	290	254	269	288	286	279	0	3229	3293
2004	331	2009-10	54	235	253	236	228	213	200	245	264	280	266	286	265	264	0	3235	3289
2005	318	2010-11	54	253	240	256	237	228	216	227	253	260	261	278	258	257	0	3224	3278
2006	352	2011-12	44	286	255	257	257	254	183	234	224	272	262	267	240	239	0	3230	3274
2007	281	2012-13	90	258	285	254	280	281	262	245	245	231	265	250	264	240	0	3360	3450
2008	333	2013-14	96	259	265	286	255	287	283	276	248	251	213	277	247	255	0	3402	3498

Historical Enrollment in Grade Combinations									
Year	K-4	K-5	K-6	K-8	5-8	6-8	7-8	7-12	9-12
2003-04	1102	1374	1677	2303	1201	929	626	1777	1151
2004-05	1116	1367	1664	2278	1162	911	614	1817	1203
2005-06	1089	1335	1603	2216	1127	881	613	1816	1203
2006-07	1032	1302	1553	2119	1087	817	566	1795	1229
2007-08	1042	1298	1567	2086	1044	788	519	1702	1183
2008-09	1083	1302	1563	2107	1024	805	544	1666	1122
2009-10	1165	1365	1610	2154	989	789	544	1625	1081
2010-11	1214	1430	1657	2170	956	740	513	1567	1054
2011-12	1309	1492	1726	2222	913	730	496	1504	1008
2012-13	1358	1620	1865	2341	983	721	476	1495	1019
2013-14	1352	1635	1911	2410	1058	775	499	1491	992

Historical Percentage Changes			
Year	K-12	Diff.	%
2003-04	3454	0	0.0%
2004-05	3481	27	0.8%
2005-06	3419	-62	-1.8%
2006-07	3348	-71	-2.1%
2007-08	3269	-79	-2.4%
2008-09	3229	-40	-1.2%
2009-10	3235	6	0.2%
2010-11	3224	-11	-0.3%
2011-12	3230	6	0.2%
2012-13	3360	130	4.0%
2013-14	3402	42	1.3%
Change		-52	-1.5%

North Providence, RI Historical Enrollment

PK-12, 2003-2013



North Providence, RI Projected Enrollment


School District: North Providence, RI


1/7/2014


Enrollment Projections By Grade*

Birth Year	Births		School Year	PK	K	1	2	3	4	5	6	7	8	9	10	11	12	UNGR	K-12	PK-12
2008	333		2013-14	96	259	265	286	255	287	283	276	248	251	213	277	247	255	0	3402	3498
2009	305		2014-15	97	255	262	271	295	271	272	328	280	259	243	215	262	238	0	3451	3548
2010	292		2015-16	98	244	258	268	280	314	257	315	333	292	251	245	204	253	0	3514	3612
2011	307		2016-17	99	257	247	264	277	298	297	298	320	348	283	253	232	197	0	3571	3670
2012	304	(est.)	2017-18	100	254	260	253	273	295	282	344	303	334	337	285	240	224	0	3684	3784
2013	308	(est.)	2018-19	101	258	257	266	261	290	279	327	349	316	323	340	270	231	0	3767	3868
2014	303	(est.)	2019-20	102	253	261	263	275	278	275	323	332	364	306	325	322	260	0	3837	3939
2015	303	(est.)	2020-21	103	253	256	267	272	292	263	319	328	346	352	308	308	310	0	3874	3977
2016	305	(est.)	2021-22	104	255	256	262	276	289	277	305	324	342	335	355	292	297	0	3865	3969
2017	305	(est.)	2022-23	105	255	258	262	271	293	274	321	310	338	331	338	336	282	0	3869	3974
2018	305	(est.)	2023-24	106	255	258	264	271	288	277	317	326	324	327	333	320	324	0	3884	3990

*Projections should be updated on an annual basis.

 Based on an estimate of births

 Based on children already born

 Based on students already enrolled

Projected Enrollment in Grade Combinations*

Year	K-4	K-5	K-6	K-8	5-8	6-8	7-8	7-12	9-12
2013-14	1352	1635	1911	2410	1058	775	499	1491	992
2014-15	1354	1626	1954	2493	1139	867	539	1497	958
2015-16	1364	1621	1936	2561	1197	940	625	1578	953
2016-17	1343	1640	1938	2606	1263	966	668	1633	965
2017-18	1335	1617	1961	2598	1263	981	637	1723	1086
2018-19	1332	1611	1938	2603	1271	992	665	1829	1164
2019-20	1330	1605	1928	2624	1294	1019	696	1909	1213
2020-21	1340	1603	1922	2596	1256	993	674	1952	1278
2021-22	1338	1615	1920	2586	1248	971	666	1945	1279
2022-23	1339	1613	1934	2582	1243	969	648	1935	1287
2023-24	1336	1613	1930	2580	1244	967	650	1954	1304

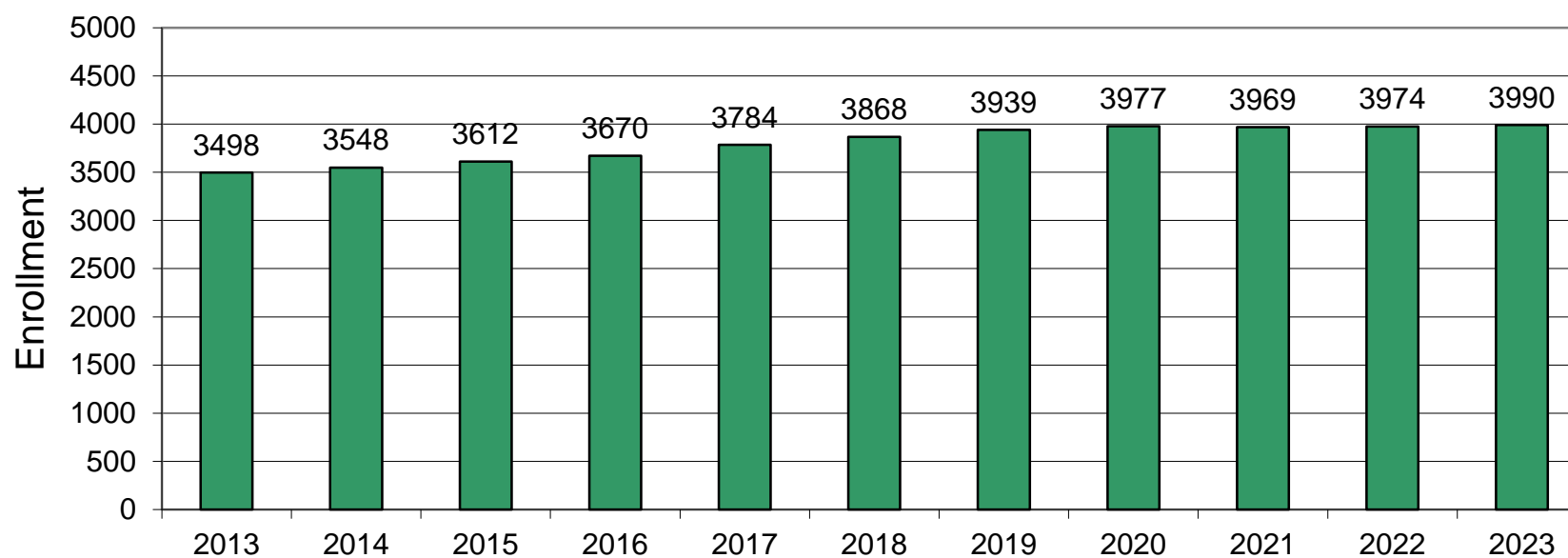
See "Reliability of Enrollment Projections" section of accompanying letter.
Projections are more reliable for Years #1-5 in the future than for Years #6 and beyond.

Projected Percentage Changes

Year	K-12	Diff.	%
2013-14	3402	0	0.0%
2014-15	3451	49	1.4%
2015-16	3514	63	1.8%
2016-17	3571	57	1.6%
2017-18	3684	113	3.2%
2018-19	3767	83	2.3%
2019-20	3837	70	1.9%
2020-21	3874	37	1.0%
2021-22	3865	-9	-0.2%
2022-23	3869	4	0.1%
2023-24	3884	15	0.4%
Change	482		14.2%

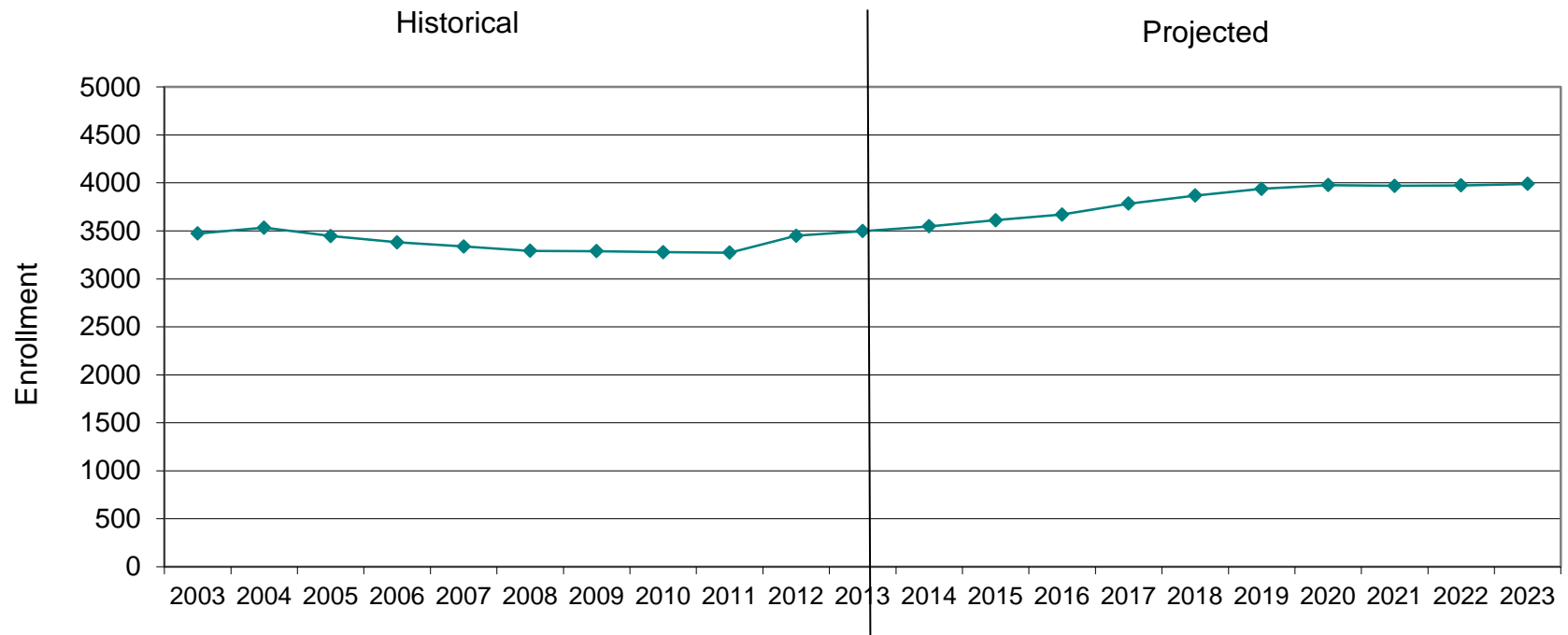
North Providence, RI Projected Enrollment

PK-12 TO 2023 Based On Data Through School Year 2013-14

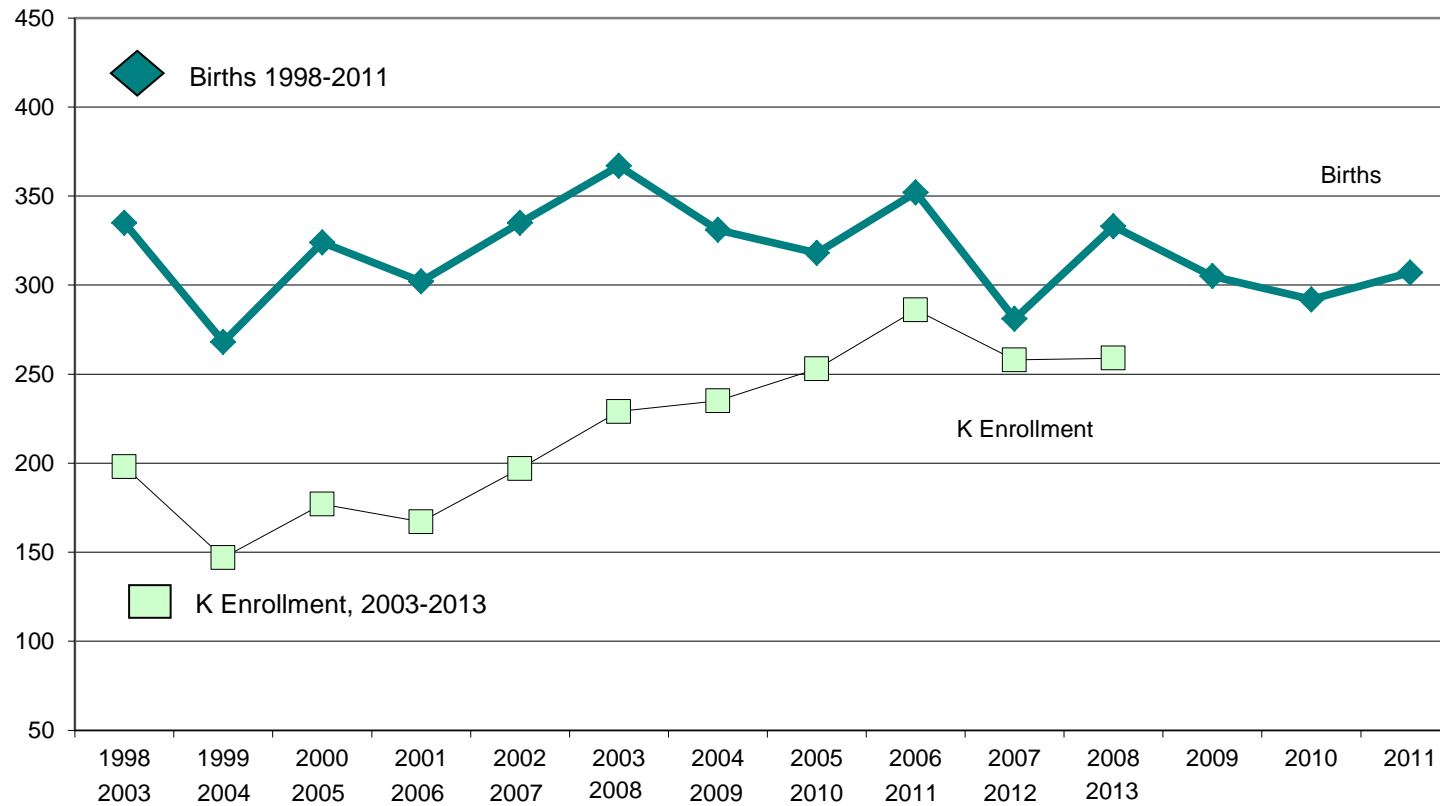


North Providence, RI Historical & Projected Enrollment

PK-12, 2003-2023



North Providence, RI Birth-to-Kindergarten Relationship





North Providence, RI Additional Data

Building Permits Issued		
Year	Single-Family	Multi-Units
2005	46	42
2009	3	2
2010	6	0
2011	3	4
2012	12	0
2013	11 to Oct 31	0

Source: HUD and Building Department

Enrollment History		
Year	Voc-Tech 9-12 Total	Non-Public K-12 Total
2005-06	n/a	718
2009-10	n/a	565
2010-11	n/a	558
2011-12	n/a	544
2012-13	n/a	507
2013-14	67	n/a

Residents in Non-Public Independent and Parochial Schools (Regular Education)														
Enrollments Oct. 1, 2012	K	1	2	3	4	5	6	7	8	9	10	11	12	K-12 TOTAL
	40	44	32	42	35	30	30	41	34	39	54	37	49	507

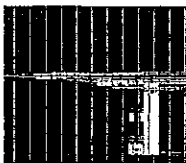
K-12 Home-Schooled Students	
2013	19

K-12 Residents "Choiced-out" or in Charter or Magnet Schools	
2013	49

K-12 SpEd Outplaced Students	
2013	57

K-12 Choiced-In, Tuitioned-In, & Other Non-Residents	
2013	n/a

The above data were used to assist in the preparation of the enrollment projections. If additional demographic work is needed, please contact our office.



North Providence School Department

Purchase Order

Fiscal Year 2014

Page 1 of 1

THIS NUMBER MUST APPEAR ON ALL INVOICES, PACKAGES AND SHIPPING PAPERS

Purchase Order #

687-00

Delivery must be made within doors of specified destination.

BILL TO

NORTH PROVIDENCE SCHOOL DEPART
FINANCE OFFICE
2240 MINERAL SPRING AVENUE
NORTH PROVIDENCE, RI 02911

VENDOR

Torrado
35 Greenwich Street
Providence RI 02907

SHIP TO

SUPERINTENDENT'S OFFICE
2240 MINERAL SPRING AVENUE
NORTH PROVIDENCE, RI 02911

Vendor Phone Number		Vendor Fax Number		Requisition Number		Delivery Reference	
						FACILITIES ASSESSMENT STUDY	
Date Ordered	Vendor Number	Date Required	Freight Method/Terms			Department/Location	
11/01/2013	4320					Financial	
Item#				Qty	UOM	Unit Price	Extended Price
<p>The Above Purchase Order Number Must Appear On All Correspondence - Packing Sheets And Bills Of Lading</p>							
1	FEE PROPOSAL STAGE I AND STAGE II			1.0	EA	\$75,000.000	\$75,000.00

By _____ By _____

Finance Director

Superintendent

PO Total

\$75,000.00